

CRITERIUM[®] **HARBOR ENGINEERS**

RESERVE FUND STUDY LAKE LINGANORE ASSOCIATION

Prepared for:

LAKE LINGANORE ASSOCIATION

**6718 COLDSTREAM DRIVE
NEW MARKET, MD 21774**

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Submitted:

November 2, 2017

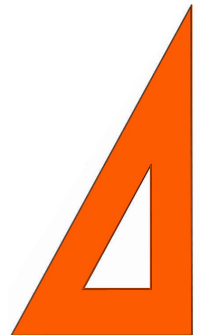


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1 Introduction

Lake Linganore Association (the Association) authorized Criterium-Harbor Engineers to conduct a Building Evaluation and Reserve Fund Study for the Lake Linganore Association, located in New Market, MD. Studies of this nature are important to ensure that a community has sufficient funds for long-term, periodic capital expenditure requirements. Anticipating large expenditures over an extended period of time through a structured analysis and scheduling process assists the Association in meeting financial requirements without increasing the service fees above permitted maximums, borrowing the funds, or levying special financial assessments to the owners.

Typically, a community association has two broad cash requirements: the general operating reserves and the capital repair and replacement reserves. In this report, we will focus on those items falling under the capital repair and replacement reserve criteria. We have projected a capital repair and replacement reserve for thirty (30) years. The first ten years are the most reliable. Such a study should be updated every three to five years.

This report is structured to analyze components of the community for which the Association is responsible and to assess an expected useful life and remaining useful life to those components. The anticipated scheduled repair or replacement of the component and the anticipated expense for the activity are then analyzed in conjunction with the current capital reserves funding program for the community. Funding program recommendations are made with the objective of limiting substantial cash excesses while minimizing financial burdens that can result from significant cash inadequacies.

This report is intended to be used as a tool to determine reserve fund allocation requirements for the community, to manage future Association obligations, and to inform the community of future financial needs in general.

The report that follows has been prepared from the perspective of what an owner of this property would benefit from knowing. Some items, beyond those of immediate concern, may be discussed. Therefore, the report should be read in its entirety in order to fully understand all of the information that has been obtained.

2 Executive Summary

Lake Linganore at Eaglehead is a Planned Unit Development, or PUD established in 1968. Currently there are 2,727 improved dwellings and 407 vacant lots, for a total of 3,134 units in the development. Lake Linganore Association was established to maintain the open spaces and recreational facilities for the community, which include; three outdoor swimming pool facilities, three public beach areas, hiking and biking trails, various sport courts, playgrounds and picnic areas. The Association is also responsible for paving of most of the community roadways and maintenance of all of the storm water management systems.

We consider the components which are the responsibility of the Association to be in good condition when compared to those of other communities of similar age, location and construction type. Some components are in need of repair and/or replacement soon and others will require attention over the term of this evaluation. This work should be planned and prioritized in conjunction with the reserve analysis. For a detailed discussion of all of our findings of this study, refer to the appropriate sections of this report.

Based on our evaluation, the current level of reserve funding for this community is not adequate. However, only small annual increases will be required to meet the projected shortfalls. We have prepared alternatives as representative methods to increase the reserve levels in order to meet these anticipated needs of the community. A more detailed analysis of the reserve fund has been provided in Appendix A.

The primary reserve requirement over the next few years will be the dredging project. The Association has secured financing for this project which will spread this expenditure out over the next 15 years. The loan will have an initial draw period during the project work. Then, repayment will occur during the remainder of the loan term.

3 Purpose & Scope

Purpose

The purpose of this study is to perform a reserve fund analysis and to determine a capital needs plan. It is intended to be used as a tool for the Association in determining the allocation requirements into the reserve fund in order to meet future anticipated capital expenditures for the community.

This report forecasts obligations for the community thirty years into the future. It should be noted that events might occur that could have an effect on the underlying component or system useful life assumptions used in this study. Likewise, inevitable market fluctuations can have an impact on component or system replacement and repair costs. Therefore, a study such as this should be updated from time to time, usually on a three to five-year cycle, in order to reflect the most accurate needs and obligations of the community.

Scope

This study has been performed according to the scope as generally defined by the Association, Criterium-Harbor Engineers, and the standards of the Community Associations Institute (CAI). The findings and recommendations are based on interviews with individuals who have knowledge about the property; a review of available documentation; and a visual investigation of the building components, equipment and grounds.

This study estimates the funding levels required for maintaining the long term viability of the facilities. Our approach involves:

1. Visual inspection of the building components, equipment and grounds which are the responsibility of the Association.
2. Predicting their remaining service life and, approximating how frequently they may require repair and/or replacement.
3. Estimating the repair or replacement costs, in current dollars, for each capital item.
4. Using data developed in Steps 1, 2 and 3 to project Capital Reserve balances for the next 30 years.

The guidelines used to determine which physical components within the facilities are to be included in the component inventory are based on the following general criteria:

1. The component must have an estimated remaining useful life of thirty years or less. As the site ages, additional components may need to be added.
2. The funding for replacement should be from one source only, not funded from another area of the budget or through a maintenance contract.
3. The cost of replacement should be high enough to make it financially unsound to fund it from the operating budget. (Typically at least \$3,000)
4. Items such as periodic painting or landscape maintenance are generally not considered as capital expenditures by the Internal Revenue Service. For budgeting purposes however we may include some large, non-annual maintenance items in the Reserve Table. You should consult your Accountant to verify the proper treatment of all components listed in this study for tax purposes. (Capital vs. Expense)

The statements in this report are opinions about the present condition of the subject facilities. They are based on visual evidence available during a diligent investigation of all reasonably accessible areas. This study is not an exhaustive technical evaluation. Such an evaluation would entail a significantly larger scope than this effort. For additional limitations refer to the Limitations Section at the end of this report.

Sources of Information

Onsite inspections of the property occurred on:

- May 9-10, 2017
- June 15, 2017

The following people were interviewed during our study:

- Brett Hamilton - Operations Manager, Lake Linganore Assoc.
- Denese Depeza - Village Manager, Lake Linganore Assoc.
- Gary Jenkins - Financial Manager, Lake Linganore Assoc.

The following documents were made available to us and reviewed:

- Various community maps maintained by the Association

- Dam inspection report, by MD Dept of the Environment, June 21, 2016
- Timber wall evaluation report, Adtec Engineers, September 30, 2016

We based our cost estimates on some or all of the following:

- R.S. Means
- Our data files on similar projects

Standards of Reference

Average: Average compares the item to what is typical for construction in the geographic area in which the inspection occurs. It also compares it to buildings of similar age and construction type. Since construction practices vary from region to region, average is intended to be region specific.

Excellent: Component or system is in "as new" condition, requiring no rehabilitation and should perform in accordance with expected performance.

Good: Component or system is sound and performing its function, although it may show signs of normal wear and tear. Some minor rehabilitation work may be required.

Fair: Component or system falls into one or more of the following categories: a) Evidence of previous repairs not in compliance with commonly accepted practice, b) Workmanship not in compliance with commonly accepted standards, c) Component or system is obsolete, d) Component or system approaching end of expected performance. Repair or replacement is required to prevent further deterioration or to prolong expected life.

Poor: Component or system has either failed or cannot be relied upon to continue performing its original function as a result of having exceeded its expected performance, excessive deferred maintenance, or state of disrepair. Present condition could contribute to or cause the deterioration of other adjoining elements or systems. Repair or replacement is required.

Adequate: A component or system is of a capacity that is defined as enough for what is required, sufficient, suitable, and/or conforms to standard construction practices.

Repair/Replacement Reserves - Non-annual maintenance items that will require significant expenditure over the life of the buildings. Included are items that will reach the end of their estimated useful life during the course of this forecast, or, in the opinion of the investigator, will require attention during that time.

4 Description

Lake Linganore at Eaglehead is a Planned Unit Development, or PUD which was established in 1968 for development of a rural area located several miles to the west of Frederick, Maryland. Dams were constructed to create several lakes around which the community is focused. Currently there are 2,727 improved dwellings and 407 vacant lots, for a total of 3,134 units. There are still undeveloped parcels within the PUD and additional units are planned.

Lake Linganore Association was established to maintain the open spaces and recreational facilities for the community. The PUD was originally established with all privately owned infrastructure including roads, stormwater management systems, domestic water and sanitary sewer services. Subsequently, the domestic water and sanitary sewer systems have been taken over by the municipality. However, most of the roads and the storm water systems are still the responsibility of the Association.

In addition to the roads and storm water systems, the Association is generally responsible for the lakes, which include three public beach areas, and dams. However, the cost of an upcoming major dredging project will be shared with the city of Frederick and Frederick County.

Common amenities include three large outdoor swimming pools with associated buildings, a barn and tent (used for events), two outdoor tennis facilities, five outdoor basketball courts, 13 children's playgrounds, a large dog park, 13 miles of trails and other miscellaneous facilities. The Association also maintains several vehicles and equipment used in the management of the facilities.

5 Site

Storm Drainage

Description

Storm drainage systems in the development consists of underground piping, catch basins along roadways, and roadside swales. There are also five stormwater management basins located within the West Winds Village. There is also a stormwater management basin located within Woodridge Village. A new storm water manhole was recently installed on south side of Eaglehead Drive as part of recently performed repairs for noted sinkhole along Eaglehead Drive. Several new storm drain catch basins were also recently installed in the Pinehurst Village. Several storm water

infiltration basins were recently installed along the sides of some roadways in the Pinehurst village as required by the township.

Evaluation & Recommendations

Most of the storm drainage systems are below ground and could not be visually inspected. Most surface structures such as catch basins, manholes, headwalls and lined channels appeared to be in good condition. Annual maintenance includes cleaning of the catch basins, removal of sediment and debris in the roadside swales and channels, and cleaning of outlet structure trash racks in the stormwater management basins.

Within the reserve study we included a line item for emergency drainage system repairs in each of the villages, based on the approximate overall length of the roadways in the particular village, as well as line items for the outlet structure repairs for all the stormwater management basins. The storm drainage systems are long lived items, however, as the community ages, deterioration of some of the underground piping and structures can be expected.

About four years ago, the Association experienced a sinkhole along the Eaglehead Drive related to the collapse of a large stormwater pipe at a significant depth and appropriate repairs were performed. We believe it would be prudent to perform inspections on a regular basis of similar facilities within the community in order to avoid possible similar problems in the future.

Within the reserve study we also included a lump sum for swale repair throughout the entire community to cover the costs of removing sediment and debris from the roadside swales and repairing erosion damage to off-road swales and channels.

Paving and Curbing

Description

The Lake Linganore Association is responsible for the maintenance of over 26 miles of roadway. Road widths vary throughout the community and can be as narrow as 12 feet in some of the small courts to as much as 35 feet at the larger collector roads. All roads are paved with asphalt. The presence of curbing also varies throughout the community with some roads having no curbing at all, some with portions of curb and gutter, and some with full curb and gutter on both sides.

All of the roads in Summerfield with the exception of the townhomes are owned by the County. Almost all the roads in the West Winds are owned by the County,

except, Eagle Trace Drive, Eagle Court, Putter Court, Club House Way and the Club House Court that are owned by the LLA. The County roads have not been included in the reserve study.

The developers still have ownership of roads in the Woodlands Preserve, two-thirds of Accipiter Drive, Accipiter Ct., Box Turtle Trail, Box Turtle Ct, Cardoza, Rehnquist and the section of Woodridge Road that touches Rehnquist and Cardoza. These roads will eventually be turned over to the Association and therefore have been included in the reserve study where they have been identified in the field. There are 178 roads identified in the study throughout 15 Villages. Some roads were identified on the community plans, but have not been actually constructed yet. These roads were not included in the study.

Evaluation & Recommendations

The road pavement throughout the community is generally in good to fair condition. Where the condition is fair it is mainly due to the presence of cracks, alligating, or utility patches within the roadway. The reserve study provides for resurfacing of the roadways based on the age of the Village it is located within and using an estimated useful life of 20 years. Where no information has been provided, the remaining useful life has been estimated based on the road's current condition or the age of the Village it is located within, and assuming it has never been resurfaced.

Within the last 4 years the following roads were re-paved or had base work completed: Panorama Drive, Cherry Tree Ct, West Winds pool parking (partial), Edgewood Rd, Rockridge Road (first third), E. Lakeridge (from Pinehurst drive to Ridgewood), last 2500 feet of Hemlock Point, Audubon North, Pinehurst Drive and Twin Lake Drive. Information provided by the Association indicates that all roads in Coldstream, Meadows, and Balmoral were repaved in approximately 2009. Pinehurst roads were repaved upon completion of the CDA work in approximately 2012 with the exception of the roads that were not part of the CDA work. All roads in Nightingale community were also paved with the CDA project. Pinehurst Drive, Twin Lake Drive, and portions of Rimrock Road and Rock Ridge Road were repaved in 2013. Several roads in the Pinehurst village are planned to be re-paved in the near future.

In all the villages, a line item has been provided in the reserve study for the concrete curb and gutter repairs based on a length of 10% of the total length of roadways for partial replacements every 10 years due to damage by snow plow equipment and other vehicular damage.

Flatwork

Description

Flatwork consists of the concrete sidewalks along the roadways of few villages and concrete sidewalks around the pool parking lots. The concrete sidewalks were noted at the Meadows, North Shore, Pinehurst, Summerfield and the West Winds villages of the community. There are concrete sidewalks around the Coldstream and the Summerfield pool buildings.

Evaluation & Recommendations

The concrete sidewalks are generally in fair to good condition. We observed minor normal cracks and spalls in the concrete sidewalks at few locations. We have allocated appropriate reserve funding for periodic concrete sidewalk repairs in the Reserve Table. We have anticipated 10% replacement of sidewalks every 5 years .

Landscaping & Appurtenances

Description

The Association is responsible for property signage provided at the entrances to communities and at various amenities. Most of these signs are carved and painted wood signs. Some locations include masonry monuments or piers and/or special landscaping.

Some wood timber retaining walls are provided to facilitate changes in elevations of the common areas. These are located throughout the community.

Pole-mounted fixtures for exterior lighting are provided at many locations, however the only pole that are the responsibility of the Association are located in West Winds and at the West Winds pool parking lot.

Pedestal mounted, cluster mailbox units are provided at many of the villages for mail distribution.

Evaluation & Recommendations

Most of the signage is in good condition. The signage varies in age and we have included a cost estimate for periodic replacements in the reserve tables. We have also included a cost estimate for periodic replacements of trees and perennials at the

various monument sign locations.

The wood timber retaining walls vary in condition, however most are older and nearing the end of their useful lives. Based on an engineering evaluation of the walls that was recently performed for the Association, we have included replacement cost estimates in the reserve tables.

The cluster mailboxes are in good to fair condition with some rusting. Due to budget restrictions, the United States Postal Service may not provide for replacement of these mailboxes and we recommend that the Association reserve funds for this component. We have included a cost estimate in the reserve tables for periodic partial replacement of the cluster mailboxes.

6 Building Exterior

Structure

Description

All of the Association maintained buildings are single story with concrete block or wood framed walls. The roofs are supported either by wood rafters, or prefabricated wood trusses.

In addition to the major pool buildings and the barn, the Association maintains several small auxiliary structures, including an equipment building for the Coldstream wading pool, a storage shed at the barn and several school bus stops.

Evaluation & Recommendations

Most of the structural elements of the buildings are concealed and were not visible for inspection. However, we did not observe any condition which would indicate that any of the structural elements are not performing adequately.

We have included replacement for the small auxiliary structures, based on EUL, in the reserve tables.

Exterior Finishes

Description

The Coldstream pool/office building exterior walls primarily have a painted stucco

surface over the concrete block. The Cabana building and the West Winds pool building have painted exterior wood paneling. The Summerfield pool building has brick exterior walls.

Evaluation & Recommendations

The exterior finishes are in good to fair condition. We observed some wood rot at the West Winds pool building and some deteriorated wood at the Cabanas. We have included a cost in the reserve tables for replacement of the West Winds exterior siding, as well as costs for periodic painting and replacement of wood trim as required on the other buildings.

Roofs

Description

The Coldstream office/pool and Cabana buildings are surfaced with wood shakes. The Summerfield and West Winds pool buildings are surfaced with asphalt/fiberglass shingles. The barn has a corrugated metal roof surface.

Evaluation & Recommendations

The wood shake roof surfaces appear to be near the end of their EUL. We have included a cost estimate for replacement of these roof surfaces in the reserve tables. The Association has decided to replace the wood shake surfaces with asphalt/fiberglass shingles.

The Summerfield roof surface has builder grade shingles that are nearing the end of their useful life. The West Winds roof surface was replaced this year and is in good condition.

The metal roof surface on the barn is also nearing the end of its EUL. We observed considerable rusting and recommend that this surface be replaced soon.

7 Building Interior

Management Offices

Description

The Association management offices are located in the Coldstream pool building,

including an area on the first floor and a small mezzanine.

Evaluation & Recommendations

The office interior finishes and furnishings are currently in good condition. It appears that renovations have been accomplished over the years. We have included a cost estimate in the reserve tables for future renovations.

Pool Shower Rooms

Description

The interior of the three swimming pool buildings all include men's and women's shower rooms, a lifeguard room and miscellaneous storage spaces.

The Coldstream site also includes an “L”-shaped building referred to as the Cabanas. This building has 30 individual rooms with exterior entrances that can be leased on a seasonal basis by community residents.

Evaluation & Recommendations

All of the shower rooms fixtures and finishes are currently in good condition. We have included reserve costs for periodic renovations of these spaces. We have also included reserve costs for replacement of the lights and receptacles in the cabanas.

Barn & Tent

Description

The Association maintains a renovated barn and an outdoor tent structure for events and functions. The barn has a large open multi-purpose space with minimal interior finishes. There is also a large kitchen and a small set of restrooms in the building. The tent is a tensioned pole structure with a concrete floor slab. Folding furniture and free-standing propane heaters are provided.

Evaluation & Recommendations

The interior of these spaces is generally in good condition. We have included reserve costs for renovations of the barn interior and replacement of kitchen equipment. We have also included a cost for replacement of the tent structure.

8 Mechanical

Plumbing

Description

The pool buildings have municipal domestic water and sanitary sewer services.

Coldstream has wall-mounted instantaneous heaters for water heating in the pool shower rooms. These are supplied by propane, fed from underground storage tanks. There is a small electric hot water heater for the office area. Domestic hot water for Summerfield is provided by two, 120 gallon, electric water heaters manufactured by A O Smith. West Winds has two, 50 gallon, electric water heaters manufactured by Ruud.

Evaluation & Recommendations

The Coldstream propane heaters are relatively new and in good condition. The Summerfield water heaters are commercial quality, but were manufactured in 1991 and are near the end of their EUL. The West Winds water heaters are residential grade, manufactured in 2003 and also near the end of their EUL for this type of equipment.

HVAC

Description

Coldstream office areas are primarily conditioned by a five-ton split system air conditioning unit with electric heat. There is also a 1-1/2-ton, ductless split system and electric baseboard heaters.

The other buildings are not conditioned. Exhaust fans are provided for the shower and equipment rooms.

Evaluation & Recommendations

The equipment is relatively new and in good condition. We have included a replacement cost in the reserve tables for the larger HVAC unit. Smaller equipment can typically be replaced as required on the operations and maintenance budget.

Electrical

Description

The pool buildings and the barn each have 208 volt, three phase electrical services. Circuit breaker panels are provided in each building for electrical distribution.

Evaluation & Recommendations

The electrical systems appear to be adequate and generally in good condition. However the electric panels located in the pool equipment areas are rusting and in fair to poor condition. These types of areas can be a harsh environment with high humidity and the storage of pool chemicals. We have included replacement costs in the reserve tables for all of these panels. These are a life safety hazards and should be addressed soon.

Security

Description

Video monitoring and multi point security systems are provided at each of the three swimming pool amenity areas. The Coldstream system includes cameras in the tennis court area. All of the systems are monitored locally at each pool building.

Evaluation & Recommendations

The security systems appear to be adequate for the facilities and in good condition. Evolving technologies typically dictate the replacement cycle of this type of equipment. We have included cost estimates for periodic replacement of all of the security systems in the reserve tables.

9 Amenities

Swimming Pools

Description

The Association maintains three public swimming pools: Coldstream, Summerfield and West Winds. All of the pools are outdoors, in-ground with gunite shells. The shells are finished with a white plaster coat and ceramic tile at the water line. All three swimming pools include a separate baby pool. Coldstream pool was constructed

in the mid-1970s and the other two pools were completed in the early 1990s.

The pool decks are poured-in-place concrete. In addition, West Winds pool has a composite wood deck which adjoins the concrete deck and is supported by a pressure-treated wood structure.

The pool equipment generally includes sand filtration units with base-mounted circulation pumps. One system is provided for each pool and baby pool. Chlorination and chemical treatment is provided by automatic feeder units. None of the swimming pools are heated.

Each pool has entry ladders and lifeguard stands. Summerfield is the only pool with a diving board. Coldstream pool has a spiral waterslide feature. Pool deck accessories include: furniture with aluminum frames and vinyl strapping. There are also large fixed umbrellas at each of the swimming pools.

All of the swimming pools have perimeter fencing that is factory-finished, tubular aluminum. In addition, West Winds pool has a wood railing at the perimeter of the composite portion of the pool deck.

Coldstream pool has a stacked stone retaining wall which runs between the pool building and the pool and also partially encloses the pool area. There is a small concrete block, segmental retaining wall at the West Winds pool. Other site features include a large wood pergola with steel columns at Coldstream pool and a large wood gazebo at the West Winds pool.

Coldstream pool is the only one with exterior lighting which consists of aluminum poles with high-intensity discharge fixtures. There are also some surface mounted light fixtures on the exterior of all of the pool buildings.

Evaluation & Recommendations

All of the pool shells, including the plaster surface, ceramic tile and perimeter coping, generally appear to be in good condition. It was reported that some underground circulation piping was recently replaced at the West Winds pool. The underground circulation piping for the Coldstream pool had previously been replaced.

Mr. Hamilton reported that refinishing of the shells, or "white coating," is typically accomplished every seven years or so. The perimeter ceramic tile and coping typically has a longer EUL and may be replaced with every alternate white coat.

In addition to the refinish work we recommend that funds be accumulated in the long term for eventual major repairs or replacement of the concrete pool shell. Settlement

and cracking may occur, as well as general deterioration of the concrete which can lead to leaks. We have also included a cost estimate for work in this regard in the reserve tables.

The concrete decks are generally in good condition. We observed some previously sealed cracks, as well as partial replacements of the decks. Concrete flatwork can have a life span of 50 to 70 years or more; however replacement usually occurs incrementally as required. Therefore we have included a periodic cost in the reserve tables for replacement of a small percentage of the concrete decks every few years.

The wood deck surface at West Winds pool is showing signs of wear, as are the associated wood railings. The wood deck structure, which appears to be original is generally in good condition, although some of the fasteners are rusting. We have included a cost in the reserve tables for replacement of the deck surface and railings, as well as some upgrade to the deck structure..

All of the pool equipment appeared to be in good condition. This type of equipment typically requires replacement about every 10 years.

All of the pool accessories are currently in good condition. We have included cost estimates for their replacement in the reserve tables based on current condition and typical life spans for these types of components.

All of the metal pool fencing is relatively new and in good condition.

The stacked stone retaining wall at Coldstream is generally in good condition. Further, we did not observe any evidence of settlement or movement. This type of wall will require periodic minor repairs with additional placement of stones and mortar. We have included assumptions for this work in the reserve tables. The segmental retaining wall is in good condition and we do not anticipate any required replacement of this component.

The wood components of the pergola are worn. We have included the replacement of this component in the reserve tables. The wood gazebo at West Winds will require eventual refurbishment including replacement of the wood shingles and some of the wood components and fasteners.

The aluminum light poles at Coldstream appear to be relatively new and in good condition. The distribution of lights also appears to be adequate for nighttime use of the facility.

Sport Courts

Description

The Association maintains a total of eight outdoor tennis courts, including six at the Coldstream facility and two at Summerfield. All of the courts are paved with asphalt and have a color coated surface. The perimeter at both sites has a 10-foot high, metal chain-link fence. None of the courts are provided with exterior lighting.

Five basketball courts are provided throughout communities. All of the courts are paved with asphalt. None of the courts have any exterior lighting. Most of the courts do not have perimeter fencing. The West Winds court is partially enclosed with metal chain-link fence and also a wood timber retaining wall. The courts are provided with hoops and backboards on fixed metal poles.

Evaluation & Recommendations

The tennis courts are in good to fair condition. We observed significant longitudinal cracks developing in the Coldstream courts. The color coat surface at the Summerfield courts is beginning to wear. Based on these observations, we have included periodic costs in the reserve tables for color coating as well as resurfacing of the asphalt.

The perimeter fence at Coldstream is new with vinyl coated chain link. The fence at West Winds appears to be original and is beginning to rust in some areas.

The condition of the basketball courts varies from court to court and we have included costs in the reserve tables for surface replacements accordingly.

Playgrounds, & Picnic Sites

Description

There are 13 children's playground sites, or tot lots. The newest one was just completed in Woodland Preserve. Each site has various configurations of manufactured playground equipment. The equipment is primarily made of metal and plastic, or plastic coated components. The playgrounds have wood chip surfaces with either wood timber or molded plastic perimeters.

In addition to the playground equipment some areas have additional structures including a picnic pavilion at Woodridge, a new picnic pavilion in Pinehurst and a

wood framed gazebo at the Sawyer Road tot lot.

Evaluation & Recommendations

Most of the playground equipment appeared to be relatively new and in good condition. All of the equipment that we observed was manufactured by Eagle Play Structures or Miracle Recreation Equipment Co. We only observed minimal areas of rusting or wear on some of the older equipment. The wood chip surfaces are well maintained. We have included cost estimates in the reserve tables for eventual replacement of all of the playground equipment based on current condition and the amount of equipment provided at each tot lot.

The picnic pavilions are new and constructed of good quality materials. We have included a cost for eventual refurbishment of these structure in the reserve tables. The wood gazebo is in good to fair condition with deterioration and splintering of the wood surfaces. We have included a cost in the reserve table for complete replacement of this structure.

Beaches & Dog Park

Description

There are three public beach areas: one on the north shore of Lake Linganore at Coldstream Drive, one on the south shore in the Nightingale community, and one at the north end of Lake Merle. All of the beaches have wood racks for boat storage, picnic tables and some fixed barbecue grills. There is a wood timber retaining wall at Coldstream beach where a set of portable outdoor restrooms are provided.

Evaluation & Recommendations

It was reported that maintenance for the beaches, including some sand at the Coldstream beach is provided for under the annual operations budget. We have included a cost estimate in the reserve tables for replacement of all of the boat racks and the wood timber retaining wall at Coldstream beach.

Trails, Bridges & Esplanade

Description

The Association maintains a network of trails which runs throughout the communities. Based on the descriptions of each trail contained in the Trail Map Pocket Guide there are approximately 13 miles of marked pathways. A majority of

the trails have natural dirt and grass surfaces. A small portion of the trails are paved with asphalt and some with crushed stone. Throughout the trail network there are various types of small wood structures crossing over small streams and marshy areas. There is one large bridge structure constructed of steel and it is referred to as Ben's Branch Bridge.

Evaluation & Recommendations

The natural surface trails are generally maintained from the annual operations and maintenance budget. The asphalt paved and crushed stone portions of the trails vary in condition. A small section asphalt trail along the Country Club Road that parallels the Tennis Club was done about four years ago. Also the access trail from the dam to Audubon Lake was re-graveled in 2016. All of the Summerfield trails were repaved in 2013.

We have included the cost estimates in the reserve tables for resurfacing the trails in phases to spread out the costs over the years. We have spread out the cost of replacing 3 miles of asphalt trails and 1.5 miles of stone trails in three phases.

We found most of the small bridges to be in good condition. We have included a cost for periodic replacement of individual small bridges along trails as required over the course of this evaluation term. For Ben's Branch Bridge we have included costs for periodic maintenance of the steel structure and replacement of its wood deck. We have also included the cost of re-painting the entire Ben's Bridge steel structure within a year.

10 Other

Lakes, Ponds and Dams

Description

There are four large lakes and a smaller pond located within the jurisdiction of the Lake Linganore Association. The lakes are, from west to east: Lake Linganore, Lake Marion, Lake Merle, and Lake Anita Louise. The pond is known as Pinehurst Pond and is located on south of the Lake Anita Louise lake. All lakes and pond have earthen dams associated with them, as well as inlet structures and pipes. Lake Linganore is the largest lake and also has a concrete spillway, wingwalls and a stilling basin on its' west side. The earthen dams are typically covered with a maintained lawn and landscaping. Many of the embankments have trails along the top of the slope. Lake Marion and Lake Merle also have roadways running along the top of the

dam embankment. Some rip-rap stabilization is also used on the embankments.

Evaluation & Recommendations

We performed a visual inspection of the four large lake embankments and the embankments associated with Pinehurst Pond on May 9-10, 2017. We found all the embankments to be in good visual condition. The concrete inlet structures appeared to be in good condition. The downstream outlet culverts were in good condition.

We reviewed the dam inspection report dated June 21, 2016 by the Maryland Department of the Environment (MDE). As per this report, the Meadowlake earth Dam at Lake Merle is in unacceptable condition at this time. MDE strongly recommended performing repairs to remediate failed slope of the dam. In addition, several other repairs were recommended by MDE in this report. We have allocated \$100,000 for these repairs within a year as shown in the reserve table.

The Lake Linganore dam and concrete spillway were constructed in the early 1970's. It appears that the other lakes and Pinehurst Pond were also constructed during that time period. The Lake Linganore spillway was rehabilitated in 2002-2003 and the intake was worked on in 1998. We noted several cracks in the concrete walls of the spillway. Work on the Lake Anita Louise embankment was done in 1992. No other information was provided regarding recent construction or rehabilitation work on the lakes or pond.

It should be noted that it was beyond the scope of our study to perform comprehensive engineering evaluations of the dam embankments and associated structures as normally done for Maryland Dam Safety Regulation purposes.

The Maryland Dam Safety Manual was developed and published by the Maryland Department of the Environment, Water Management Administration, Dam Safety Division, latest edition 1996, revised November 2003. This manual should be consulted for operation, maintenance, and permitting of all the dams.

Although failure of the dam embankments is unlikely, especially given their overall good condition and the apparent rigorous inspections and maintenance provided by the Association, it is still possible that a failure could occur. National statistics show that overtopping due to inadequate spillway design, debris blockage of spillways, or settlement of the dam crest account for about one-third of all U.S. dam failures. Other major causes include settlement and slope instability, and piping.

We recommend quarterly inspections of the dams and related structures by a professional engineer or as required by the Maryland Dam Safety Division regulations.

We believe it is prudent to provide partial funding for dam replacement in case major repairs are needed. We have provided funding for spillway, embankment, and outlet structure repair or replacement in the reserve study.

It is our understanding that none of the lakes and ponds were been dredged since their original construction. Dredging is important from time-to-time due to collection of sediments at bottoms of lakes and ponds. As we understand, the dredging of all Lakes and ponds is planned by LLA within the period of next 1-4 years. We are not certain about sequencing of these repairs. The USGS has studied the lake's sediment accumulation and has produced a report 2013-5082 outlining sediment characteristics, depths, and volumes. The estimated cost of the dredging project is about \$15M. It is anticipated that the cost will be shared between the City of Fredrick, Fredrick County and the LLA, and that the LLA share portion will be approximately \$3.75M (about 25% of the total project cost). We have allocated this cost in the reserve study.

Vehicles

Description

The Association maintains several motor vehicles for use in security maintenance and operations, including several sport-utility vehicles, one pickup truck and a large tractor.

Evaluation & Recommendations

We have included a list of all of the vehicles in the reserve tables with estimates for replacement cycles and costs.

11 Reserve Fund Analysis

The following is a projected reserve fund analysis for non-annual items as discussed in our report. This projection takes into consideration a long term estimate for inflation, as well as an estimate of return on invested reserve funds. Keep in mind that these two numbers can greatly affect the funding levels over the years. Please evaluate our estimates and let us know of any changes that may be desired.

The intent of this reserve fund projection is to help the Association develop a reserve fund to provide for anticipated repair or replacements of various system components during the next thirty years.

This projection provides the following:

- **Itemized Worksheet** - List of each component that we anticipate will require replacement or major repairs over the term of this evaluation. An estimated cost, typical useful life and expected remaining life is provided for each item.
- **Annual Expense** - A table with annual reserve expenses derived from the Itemized Worksheet.
- **Current Funding Plan** - A table with our input assumptions, derived data and a cash flow graph for the Association's current funding plan.
- **Alternative Funding Plans** (as applicable) - Possible methods of meeting the future reserve fund obligations of the community.

The provided graphs illustrate what effects the funding methods will have over the presented thirty year period versus the anticipated capital expenditures. Care should be taken in analyzing the graphs due to varying graphic scales that occur within each graph and between graphs.

Current Funding Plan: The Association's current funding plan calls for an annual contribution of \$1,150,000 to the reserve funds. This will not be sufficient to meet the projected expenses that have been developed by our analysis, particularly in the latter years of our evaluation period.

Alternative Funding Plan No. 1: In order to cover the projected shortfall, an annual rate of increase to the reserve contribution of only 1% would be required to maintain positive funding for the entire 30-year evaluation period.

The Association should bear in mind that unanticipated expenditures can always arise and

maintenance of a significant reserve fund balance can be viewed as a way to avoid special assessments.

Please note that the reserve fund study does not include typical annual maintenance items. Our assumption is that you already have an annual operating budget that provides for these typical, repetitive items. This includes miscellaneous repairs, lawn and grounds maintenance, routine minor painting, etc. We have focused on those significant, non-annual items where careful financial planning is important.

Finally, please note that the estimates we have developed are based on 2017 dollars. Our reserve fund study does adjust for an estimated annual inflation and a given return on investment assuming that the indicated fund balances are maintained.

12 Conclusion

In summary, we consider the buildings and grounds to currently be in good condition when compared to others of similar age and construction type. Based on our evaluation, the current level of reserve funding for this community is not adequate. However, only modest increases will be required in order to maintain adequate funding. A more detailed analysis of the reserve fund has been provided in Appendix A.

The primary reserve requirement over the next few years will be the dredging project. The Association has secured financing for this project which will spread out this expenditure over the next 15 years. The loan will have an initial draw period during the project work. Then, repayment will occur during the remainder of the loan term.

We feel that the reserve strategy included with this report outlines a possible strategy for the community to adopt given the current condition of the community as a whole. As time passes, it may become necessary to re-establish financial priorities and capital expenditure schedules given any unforeseen circumstances. We recommend and encourage this activity.

13 Limitations

This study is limited to the visual observations made during our inspection. We did not remove surface materials, conduct any destructive or invasive testing, move furnishings or equipment, or undertake any digging or excavation. Accordingly, we cannot comment on the condition of systems that we could not see, such as buried structures and utilities, nor are we responsible for conditions that could not be seen or were not within the scope of our services at the time of the investigation. We did not undertake to completely assess the stability of the buildings or the underlying foundation soil since this effort would require excavation and destructive testing. Likewise, this is not a seismic assessment.

We did not investigate the following areas:

- Any of the individual dwelling units
- Concealed structural elements and equipment
- Underground utilities

We do not render an opinion on uninvestigated portions of the facilities.

We did not perform any computations or other engineering analysis as part of this evaluation, nor did we conduct a comprehensive code compliance investigation. This

study is not to be considered a warranty of condition, and no warranty is implied. The appendices are an integral part of this report and must be included in any review.

In our Reserve Fund Analysis, we have provided estimated costs. These costs are based on our general knowledge of building systems and the contracting and construction industry. When appropriate, we have relied on standard sources, such as Means Building Construction Cost Data, to develop estimates. However, for items that we have developed costs (e.g.: structural repairs), no standard guide for developing such costs exists. Actual costs can vary significantly, based on the availability of qualified contractors to do the work, as well as many other variables. We cannot be responsible for the specific cost estimates provided.

We have performed no design work as part of this study, nor have we obtained competitive quotations or estimates from contractors as this also is beyond the scope of the project. The actual cost to remedy deficiencies and deferred maintenance items that we have identified may vary significantly from estimates and competitive quotations from contractors.

If you have any questions about this study or the reserve fund analysis, please feel free to contact us. Thank-you for the opportunity to be of assistance to you.

Respectfully submitted,

Mr. Craig D. Smith, PE
Criterium-Harbor Engineers

Appendix A: Reserve Fund Projections

Itemized worksheet

Capital Item To Be Replaced	Quantity Count	Units	Unit cost	CapEx Budget	Expected Useful Life (or Frequency) Years	Remaining Useful Life Years	Planning Notes
Site							
STORMWATER							
Aspen	8,675	LF	\$2.00	\$17,350.00	30	11	Emergency Repairs/Replacement
Aspen (North)	4,265	LF	\$2.00	\$8,530.00	30	25	Emergency Repairs/Replacement
Audubon Single Family	4,045	LF	\$2.00	\$8,090.00	30	6	Emergency Repairs/Replacement
Audubon Terrace TH	4,060	LF	\$2.00	\$8,120.00	30	21	Emergency Repairs/Replacement
Audubon Terrace Villas	895	LF	\$2.00	\$1,790.00	30	5	Emergency Repairs/Replacement
Balmoral	11,515	LF	\$2.00	\$23,030.00	30	7	Emergency Repairs/Replacement
Coldstream	12,905	LF	\$2.00	\$25,810.00	30	3	Emergency Repairs/Replacement
Meadows	14,550	LF	\$2.00	\$29,100.00	30	5	Emergency Repairs/Replacement
Nightingale	2,285	LF	\$2.00	\$4,570.00	30	5	Emergency Repairs/Replacement
North Shores	8,224	LF	\$2.00	\$16,448.00	30	7	Emergency Repairs/Replacement
Pinehurst	44,012	LF	\$2.00	\$88,024.00	30	8	Emergency Repairs/Replacement
Summerfield	4,025	LF	\$2.00	\$8,050.00	30	4	Emergency Repairs/Replacement
West Winds	8,950	LF	\$2.00	\$17,900.00	30	13	Emergency Repairs/Replacement
Woodlands Preserve	2,568	LF	\$2.00	\$5,136.00	30	26	Emergency Repairs/Replacement
Woodridge	10,370	LF	\$2.00	\$20,740.00	30	8	Emergency Repairs/Replacement
Eaglehead Drive	12,100	LF	\$2.00	\$24,200.00	25	10	Emergency Repairs/Replacement
West Winds Pool Parking Areas	1	LS	\$5,000.00	\$5,000.00	15	10	Emergency Repairs/Replacement
West Winds Stormwater Mgmt Basin 254	1	LS	\$5,000.00	\$5,000.00	30	13	Outlet Structure Repair
West Winds Stormwater Mgmt Basin 467	1	LS	\$5,000.00	\$5,000.00	30	13	Outlet Structure Repair
West Winds Stormwater Mgmt Basin 468	1	LS	\$5,000.00	\$5,000.00	30	13	Outlet Structure Repair
West Winds Stormwater Mgmt Basin 610	1	LS	\$5,000.00	\$5,000.00	30	13	Outlet Structure Repair
West Winds Stormwater Mgmt Basin 640	1	LS	\$5,000.00	\$5,000.00	30	13	Outlet Structure Repair
West Winds Stormwater Mgmt Basin 641	1	LS	\$5,000.00	\$5,000.00	30	13	Outlet Structure Repair
Woodridge Stormwater Mgmt Basin	1	LS	\$5,000.00	\$5,000.00	30	20	Outlet Structure Repair
Swale Repairs - All Villages	1	LS	\$35,000.00	\$35,000.00	1	0	Emergency Yearly Repairs
PAVING, CURBING & FIATWORK							
Aspen - Accipiter Court	856	SY	\$19.00	\$16,255.56	20	20	
Aspen - Accipiter Drive	4,000	SY	\$19.00	\$76,000.00	20	20	1,800 linear feet replacement now
Aspen - Accipiter Drive	9,022	SY	\$19.00	\$171,418.00	20	1	Will be repaved by developer in 2018
Aspen - Box Turtle Court	951	SY	\$19.00	\$18,071.11	20	20	
Aspen - Box Turtle Trail	498	SY	\$19.00	\$9,457.78	20	20	
Aspen - Forest Park Drive/Ct	822	SY	\$19.00	\$15,622.22	20	1	
Aspen - Ilex Court	978	SY	\$19.00	\$18,577.78	20	1	
Aspen - Picea Court	1,789	SY	\$19.00	\$33,988.89	20	1	
Aspen North - Arapahoe Road	2,187	SY	\$19.00	\$41,546.67	20	17	All roads in Aspen (North) are new
Aspen North - L'Abri Court	356	SY	\$19.00	\$6,755.56	20	17	
Aspen North - Pax Court	293	SY	\$19.00	\$5,573.33	20	17	

Itemized worksheet

Capital Item To Be Replaced	Quantity		Unit cost	CapEx Budget	Expected	Remaining	Planning Notes
	Count	Units			(or Frequency)	Useful Life	
					Years	Years	
Aspen North - Shalom Court	533	SY	\$19.00	\$10,133.33	20	17	
Aspen North - Shavano Road East	1,778	SY	\$19.00	\$33,777.78	20	17	
Aspen North - Shavano Road West	2,489	SY	\$19.00	\$47,288.89	20	17	
Audubon SF - Goldeneye Court	607	SY	\$19.00	\$11,526.67	20	18	
Audubon SF - Heron Court	513	SY	\$19.00	\$9,753.33	20	18	
Audubon SF - Sanderling Court	1,851	SY	\$19.00	\$35,171.11	20	18	
Audubon SF - Sparrow Court	591	SY	\$19.00	\$11,231.11	20	18	
Audubon SF - Whistling Swan Way	4,169	SY	\$19.00	\$79,208.89	20	18	
Audubon SF - Whooping Crane Way	2,676	SY	\$19.00	\$50,835.56	20	18	
Audubon SF - conc. curb and gutter	700	LF	\$21.00	\$14,700.00	10	6	10% partial replacement every 10 years
Audubon TH - Audubon Way	2,120	SY	\$19.00	\$40,280.00	20	3	
Audubon TH - Chickadee Lane	498	SY	\$19.00	\$9,457.78	20	11	
Audubon TH - Field Sparrow Lane	560	SY	\$19.00	\$10,640.00	20	11	
Audubon TH - Nuthatch Drive	1,992	SY	\$19.00	\$37,852.22	20	11	
Audubon TH - White Pelican Way	2,500	SY	\$19.00	\$47,500.00	20	3	
Audubon TH - Wood Thrush Drive	2,334	SY	\$19.00	\$44,354.44	20	10	
Audubon TH - conc. curb and gutter	650	LF	\$21.00	\$13,650.00	10	6	10% partial replacement every 10 years
Audubon Villas - Red Tail Court	1,236	SY	\$19.00	\$23,486.11	20	1	
Audubon Villas - Swallow Court akaCliff Swallow	1,250	SY	\$19.00	\$23,750.00	20	1	
Balmoral - Balmoral Court	960	SY	\$19.00	\$18,240.00	20	3	
Balmoral - Balmoral Overlook	1,940	SY	\$19.00	\$36,860.00	20	3	
Balmoral - Balmoral Place	353	SY	\$19.00	\$6,713.33	20	3	
Balmoral - Balmoral Ridge	3,180	SY	\$19.00	\$60,420.00	20	3	
Balmoral - Glen Drive/Lane	513	SY	\$19.00	\$9,753.33	20	3	
Balmoral - Greenlea Court	229	SY	\$19.00	\$4,354.17	20	3	
Balmoral - Hedge Apple Bend	1,971	SY	\$19.00	\$37,445.83	20	3	
Balmoral - Hedge Apple Court	451	SY	\$19.00	\$8,571.11	20	3	
Balmoral - Indian Head Lane	827	SY	\$19.00	\$15,706.67	20	3	
Balmoral - Meadow Lawn Circle	3,593	SY	\$19.00	\$68,273.33	20	3	
Balmoral - Meadow Point Bend	347	SY	\$19.00	\$6,586.67	20	3	
Balmoral - Meadow Point Terrace	3,474	SY	\$19.00	\$66,009.17	20	3	
Balmoral - Park Rose Ct	210	SY	\$19.00	\$3,990.00	20	3	
Balmoral - conc. curb and gutter	650	LF	\$21.00	\$13,650.00	10	6	10% partial replacement every 10 years
Coldstream - Athabasca Trail	339	SY	\$19.00	\$6,444.17	20	2	
Coldstream - Baykal Trail	403	SY	\$19.00	\$7,663.33	20	2	
Coldstream - Caspian Way	495	SY	\$19.00	\$9,405.00	20	2	
Coldstream - Coldstream Drive	4,290	SY	\$19.00	\$81,510.00	20	2	
Coldstream - Coldstream Drive East	2,182	SY	\$19.00	\$41,451.67	20	2	
Coldstream - Coldstream Drive West	5,320	SY	\$19.00	\$101,080.00	20	2	

Itemized worksheet

Capital Item To Be Replaced	Quantity		Unit cost	CapEx Budget	Expected	Remaining	Planning Notes
	Count	Units			(or Frequency)	Useful Life	
					Years	Years	
Coldstream - Cool Font Crossing	1,357	SY	\$19.00	\$25,776.67	20	2	
Coldstream - Dasana Court aka Iliamna	443	SY	\$19.00	\$8,423.33	20	2	
Coldstream - Erie Way	367	SY	\$19.00	\$6,966.67	20	2	
Coldstream - Huron Court	403	SY	\$19.00	\$7,663.33	20	2	
Coldstream - Huron Terrace/Trail	523	SY	\$19.00	\$9,927.50	20	2	
Coldstream - Ladoga Lane	1,000	SY	\$19.00	\$19,000.00	20	2	
Coldstream - Lianna Place/Lagoda Place	253	SY	\$19.00	\$4,813.33	20	2	
Coldstream - Maracaibo Mews	156	SY	\$19.00	\$2,955.56	20	2	
Coldstream - Nyasa Bend	2,533	SY	\$19.00	\$48,133.33	20	2	
Coldstream - Old Stonehouse Lane	1,367	SY	\$19.00	\$25,966.67	20	2	
Coldstream - Onega Place	333	SY	\$19.00	\$6,333.33	20	2	
Coldstream - Placid Court	284	SY	\$19.00	\$5,399.17	20	2	
Coldstream - Placid Place	339	SY	\$19.00	\$6,444.17	20	2	
Coldstream - Reindeer Place	348	SY	\$19.00	\$6,618.33	20	2	
Coldstream - Reindeer Trail	403	SY	\$19.00	\$7,663.33	20	2	
Coldstream - Tahoe Trail	770	SY	\$19.00	\$14,630.00	20	2	
Coldstream - conc. curb and gutter	670	LF	\$21.00	\$14,070.00	10	7	10% partial replacement every 10 years
Meadows - Cartor Court	173	SY	\$19.00	\$3,293.33	20	12	Roads repaved around 2009
Meadows - Farm View Court	1,528	SY	\$19.00	\$29,027.78	20	12	Road repaved around 2009
Meadows - Fox Chase Circle	982	SY	\$19.00	\$18,662.22	20	12	Road repaved around 2009
Meadows - Fox Chase Crossing	651	SY	\$19.00	\$12,365.83	20	12	Road repaved around 2009
Meadows - Fox Chase Road	6,951	SY	\$19.00	\$132,071.11	20	12	Road repaved around 2009
Meadows - Fox Meadow Circle	788	SY	\$19.00	\$14,978.33	20	12	Road repaved around 2009
Meadows - Horn Court	367	SY	\$19.00	\$6,966.67	20	12	Road repaved around 2009
Meadows - Masters Court	350	SY	\$19.00	\$6,650.00	20	12	Road repaved around 2009
Meadows - Masters Road	5,188	SY	\$19.00	\$98,578.33	20	12	Road repaved around 2009
Meadows - Meadow Head Circle	525	SY	\$19.00	\$9,975.00	20	12	Road repaved around 2009
Meadows - Meadow Lake Circle	738	SY	\$19.00	\$14,017.78	20	12	Road repaved around 2009
Meadows - Meadow Lake Road	5,124	SY	\$19.00	\$97,359.17	20	12	Road repaved around 2009
Meadows - Paddock Road/Ct	448	SY	\$19.00	\$8,507.78	20	12	Road repaved around 2009
Meadows - Saddle Road	1,727	SY	\$19.00	\$32,806.67	20	12	Road repaved around 2009
Meadows - Stirrup Court	358	SY	\$19.00	\$6,792.50	20	12	Road repaved around 2009
Meadows - White Horse Circle	376	SY	\$19.00	\$7,135.56	20	12	Road repaved around 2009
Meadows - concrete sidewalk	12	SY	\$85.00	\$1,020.00	5	2	Farmview Court - Replace 10% every 5 years
Meadows - conc. curb and gutter	2,000	LF	\$21.00	\$42,000.00	10	5	10% partial replacement
Nightingale - Nightingale Court	2,071	SY	\$19.00	\$39,351.11	20	20	
Nightingale - Nightingale Place	1,333	SY	\$19.00	\$25,333.33	20	15	
Nightingale - Nightingale Way	160	SY	\$19.00	\$3,040.00	20	15	
North Shores - Commodore Court	3,011	SY	\$19.00	\$57,202.67	20	3	

Itemized worksheet

Capital Item To Be Replaced	Quantity		Unit cost	CapEx Budget	Expected	Remaining	Planning Notes
	Count	Units			Useful Life (or Frequency) Years	Useful Life Years	
North Shores - Cool Font Crossing	1,542	SY	\$19.00	\$29,291.67	20	3	
North Shores - Harbor Light Way	1,662	SY	\$19.00	\$31,582.22	20	3	
North Shores - North Shore Way	11,239	SY	\$19.00	\$213,538.89	20	3	
North Shores - Northshore Square	3,801	SY	\$19.00	\$72,221.11	20	3	
North Shores - Point Clear Road/Ct.	1,478	SY	\$19.00	\$28,077.78	20	3	
North Shores - Vantage Point Court	856	SY	\$19.00	\$16,255.56	20	3	
North Shores - Waters Edge Court	2,069	SY	\$19.00	\$39,308.89	20	5	
North Shores - concrete sidewalk	73	SY	\$85.00	\$6,230.50	5	3	Farmview Court - Replace 10% every 5 years
North Shores - conc. curb and gutter	1,175	LF	\$21.00	\$24,675.00	10	6	10% partial replacement
Pinehurst - Beach Drive	4,111	SY	\$19.00	\$78,111.11	20	0	Proposed repairs in 2017
Pinehurst - Bens Ford	533	SY	\$19.00	\$10,133.33	20	2	
Pinehurst - Edgewood Drive/ Rd	4,544	SY	\$19.00	\$86,344.44	20	0	Proposed repairs in 2017
Pinehurst - Forest Edge Circle	1,417	SY	\$19.00	\$26,916.67	20	2	
Pinehurst - Forest Edge Court	208	SY	\$19.00	\$3,958.33	20	2	
Pinehurst - Forest Edge Place	303	SY	\$19.00	\$5,763.33	20	2	
Pinehurst - Glade Court	338	SY	\$19.00	\$6,417.78	20	0	Proposed repairs in 2017
Pinehurst - Glade Court North	267	SY	\$19.00	\$5,066.67	20	2	
Pinehurst - Glade Court South	389	SY	\$19.00	\$7,388.89	20	0	Proposed repairs in 2017
Pinehurst - Hemlock Point Road	4,178	SY	\$19.00	\$79,388.33	20	0	Last 2500 ft replaced and deducted from total
Pinehurst - High Beach Court	1,528	SY	\$19.00	\$29,027.78	20	0	Proposed repairs in 2017
Pinehurst - Highwood Place	443	SY	\$19.00	\$8,423.33	20	2	
Pinehurst - Hill Beach Court East	3,889	SY	\$19.00	\$73,888.89	20	2	
Pinehurst - Lake Court East	211	SY	\$19.00	\$4,011.11	20	2	
Pinehurst - Lake Court West	322	SY	\$19.00	\$6,122.22	20	2	
Pinehurst - Lake Front Court	667	SY	\$19.00	\$12,666.67	20	0	Proposed repairs in 2017
Pinehurst - Lake Point Court	375	SY	\$19.00	\$7,125.00	20	2	
Pinehurst - Lake Point Overlook	477	SY	\$19.00	\$9,056.67	20	2	
Pinehurst - Lake Ridge Court	460	SY	\$19.00	\$8,740.00	20	2	
Pinehurst - Lake Ridge Drive	825	SY	\$19.00	\$15,675.00	20	2	
Pinehurst - Lake Ridge Place	226	SY	\$19.00	\$4,285.56	20	2	
Pinehurst - Lake Ridge Road East	3,100	SY	\$19.00	\$58,900.00	20	2	About 2000 ft replaced and deucted from total
Pinehurst - Lake Ridge Road West	7,633	SY	\$19.00	\$145,033.33	20	2	
Pinehurst - Lake Square Court	486	SY	\$19.00	\$9,236.11	20	0	Proposed repairs in 2017
Pinehurst - Lake View Court	1,767	SY	\$19.00	\$33,566.67	20	0	Proposed repairs in 2017
Pinehurst - Long Beach Court	500	SY	\$19.00	\$9,500.00	20	0	Proposed repairs in 2017
Pinehurst - Oak Crest Circle	1,667	SY	\$19.00	\$31,666.67	20	2	
Pinehurst - Oak Crest Court	0	SY	\$19.00	\$0.00	20		Undeveloped
Pinehurst - Oak Crest Place	0	SY	\$19.00	\$0.00	20		Undeveloped
Pinehurst - Oak Ledge Court	0	SY	\$19.00	\$0.00	20		Undeveloped

Itemized worksheet

Capital Item To Be Replaced	Quantity		Unit cost	CapEx Budget	Expected	Remaining	Planning Notes
	Count	Units			(or Frequency)	Useful Life	
					Years	Years	
Pinehurst - Oak Ledge Place	0	SY	\$19.00	\$0.00	20		Undeveloped
Pinehurst - Oak Ridge Ct	220	SY	\$19.00	\$4,180.00	20	2	
Pinehurst - Oak Ridge Road	3,017	SY	\$19.00	\$57,316.67	20	2	
Pinehurst - Oak Rise Court	233	SY	\$19.00	\$4,433.33	20	2	
Pinehurst - Oak Rise Road	908	SY	\$19.00	\$17,242.50	20	2	
Pinehurst - Old Barn Court	1,229	SY	\$19.00	\$23,348.89	20	0	Proposed repairs in 2017
Pinehurst - Old Barn Drive	404	SY	\$19.00	\$7,684.44	20	2	
Pinehurst - Old Barn Road	7,296	SY	\$19.00	\$138,615.56	20	0	Proposed repairs in 2017
Pinehurst - Pine Hurst Drive	12,386	SY	\$19.00	\$235,336.11	20	16	Repaved in 2013
Pinehurst - Ridge Crest Court	180	SY	\$19.00	\$3,420.00	20	0	Proposed repairs in 2017
Pinehurst - Ridge Crest Place	153	SY	\$19.00	\$2,913.33	20	0	Proposed repairs in 2017
Pinehurst - Ridge Crest Road	2,403	SY	\$19.00	\$45,663.33	20	2	
Pinehurst - Ridge Point Place	322	SY	\$19.00	\$6,122.22	20	2	
Pinehurst - Ridgewood Court	0	SY	\$19.00	\$0.00	20		Undeveloped
Pinehurst - Ridgewood Place	0	SY	\$19.00	\$0.00	20		Undeveloped
Pinehurst - Rimrock Ct	180	SY	\$19.00	\$3,420.00	20	2	
Pinehurst - Rimrock Lane	1,173	SY	\$19.00	\$22,293.33	20	2	
Pinehurst - Rimrock Place	378	SY	\$19.00	\$7,177.78	20	0	Proposed repairs in 2017
Pinehurst - Rimrock Road	1,792	SY	\$19.00	\$34,041.67	20	2	Partially repaved in 2013-Approx. 250'
Pinehurst - Rock Crest Ct	280	SY	\$19.00	\$5,320.00	20	2	
Pinehurst - Rock Ridge Court	474	SY	\$19.00	\$9,014.44	20	2	
Pinehurst - Rock Ridge Road	2,753	SY	\$19.00	\$52,313.33	20	16	Repaved in last 4 years
Pinehurst - San Andrews Ct	0	SY	\$19.00	\$0.00	20		Undeveloped
Pinehurst - Stonedge Court	568	SY	\$19.00	\$10,787.78	20	2	
Pinehurst - Twin Lake Court	356	SY	\$19.00	\$6,755.56	20	0	Proposed repairs in 2017
Pinehurst - Twin Lake Drive	7,000	SY	\$19.00	\$133,000.00	20	16	Repaved in 2013
Pinehurst - conc. curb and gutter	100	LF	\$21.00	\$2,100.00	10	5	10% partial replacement every 10 years
Pinehurst - concrete sidewalk	82	SY	\$85.00	\$6,987.00	5	5	Partial 10% replacement every 10 years
Summerfield - North Steamboat Way	6,792	SY	\$19.00	\$129,041.67	20	12	Repaved around 2009
Summerfield - South Steamboat Way	4,389	SY	\$19.00	\$83,388.89	20	12	Repaved around 2009
Summerfield - Illinois Ct.	1,600	SY	\$19.00	\$30,400.00	20	12	Repaved around 2009 (Missing from last study)
Summerfield - conc. curb and gutter	400	LF	\$15.00	\$6,000.00	10	5	10% partial replacement every 10 years
Summerfield - concrete sidewalk	110	SY	\$85.00	\$9,367.00	5	5	Partial 10% replacement every 10 years
West Winds - Club House Court	217	SY	\$19.00	\$4,116.67	20	3	
West Winds - Club House Way	267	SY	\$19.00	\$5,066.67	20	3	
West Winds - Eagle Court	250	SY	\$19.00	\$4,750.00	20	3	
West Winds - Eagle Trace Drive	2,778	SY	\$19.00	\$52,777.78	20	3	
Woodlands Preserve - Divot Court	2,048	SY	\$19.00	\$38,912.00	20	18	
Woodlands Preserve - Country Club Terrace	4,000	SY	\$19.00	\$76,000.00	20	18	

Itemized worksheet

Capital Item To Be Replaced	Quantity Count Units	Unit cost	CapEx Budget	Expected Useful Life (or Frequency) Years	Remaining Useful Life Years	Planning Notes
Woodlands Preserve - conc. curb and gutter	450	\$15.00	\$6,750.00	10	8	10% partial replacement every 10 years
Woodridge - Burger Way	978 SY	\$19.00	\$18,577.78	20	16	Under Const. by Developer in 2013
Woodridge - Cardozo Street	1,656 SY	\$19.00	\$31,455.56	20	16	Under Const. by Developer in 2013
Woodridge - Woodcliff Court	1,867 SY	\$19.00	\$35,466.67	20	2	
Woodridge - Woodcrest Court	311 SY	\$19.00	\$5,911.11	20	10	
Woodridge - Woodcrest Road	3,667 SY	\$19.00	\$69,666.67	20	10	
Woodridge - Woodfield Court	1,011 SY	\$19.00	\$19,211.11	20	2	
Woodridge - Woodlake Place	789 SY	\$19.00	\$14,988.89	20	2	
Woodridge - Woodland Road	6,733 SY	\$19.00	\$127,933.33	20	6	
Woodridge - Woodridge Road	4,711 SY	\$19.00	\$89,511.11	20	2	
Woodridge - Woodrise Road	1,322 SY	\$19.00	\$25,122.22	20	6	
Eaglehead Drive	20,200 SY	\$19.00	\$383,800.00	20	1	25% still the responsibility of the developer
Eaglehead Drive	6,733 SY	\$19.00	\$127,927.00	20	20	25% will be repaved by developer in 2018
Eaglehead Drive - conc. curb and gutter	2,000 LF	\$21.00	\$42,000.00	10	4	10% partial replacement every 10 years
Coldstream beach parking lot	800 SY	\$10.00	\$8,000.00	20	6	
Coldstream pool parking lot	5,500 SY	\$10.00	\$55,000.00	20	3	
Coldstream pool - conc. curb and gutter	200 LF	\$21.00	\$4,200.00	10	3	10% partial replacement every 10 years
Coldstream pool - concrete sidewalk	33 SY	\$85.00	\$2,796.50	5	5	Partial 10% replacement every 10 years
McFadden playground parking lot	525 SY	\$10.00	\$5,250.00	20	12	
Summerfield pool parking lot	2,200 SY	\$10.00	\$22,000.00	20	5	
Summerfield pool - conc. curb and gutter	100 LF	\$21.00	\$2,100.00	10	4	10% partial replacement every 10 years
Summerfield pool - concrete sidewalk	16 SY	\$85.00	\$1,326.00	5	4	Partial 10% replacement every 10 years
West Winds pool parking lot	5,450 SY	\$10.00	\$54,500.00	20	18	Repaired within last 4 years
West Winds pool - bituminous curbing	300 LF	\$15.00	\$4,500.00	10	7	10% partial replacement every 10 years
LANDSCAPING & APPURTENANCES						
Property signage - periodic replacements	1 LS	\$20,000.00	\$20,000.00	5	0	
Trees and perennials - periodic replacements	1 LS	\$30,000.00	\$30,000.00	10	5	
Retaining walls - Summerfield Pool - replace	400 SF	\$30.00	\$12,000.00	25	3	
Retaining wall - Pinehurst #1 - replace	600 SF	\$30.00	\$18,000.00	25	0	6608-6618 Beach Drive
Retaining wall - Pinehurst #2 - replace	100 SF	\$30.00	\$3,000.00	25	6	6620 Beach Drive
Retaining wall - Pinehurst entrance - replace	400 SF	\$30.00	\$12,000.00	25	7	
Retaining walls - North Shore #1 - replace	1900 SF	\$30.00	\$57,000.00	25	7	6520 N. Shore Square
Retaining walls - North Shore #2 - replace	3000 SF	\$30.00	\$90,000.00	25	4	6527-6541 N. Shore Square
Retaining wall - Summerfield - replace	1000 SF	\$30.00	\$30,000.00	25	3	Huckleberry Way
Light Poles -West Winds - replace	6 EA	\$3,000.00	\$18,000.00	30	7	
Guard rails -Woodridge - replace	100 LF	\$40.00	\$4,000.00	40	26	
Cluster mail box units - Periodic Replacements	26 EA	\$3,000.00	\$78,000.00	5	1	20% every five years
Building Exterior						
Coldstream wood shake roof - replace	70 SQ	\$525.00	\$36,750.00	40	0	Replace wood shakes w/ asphalt singles

Itemized worksheet

Capital Item To Be Replaced	Quantity		Unit cost	CapEx Budget	Expected	Remaining	Planning Notes
	Count	Units			(or Frequency)	Useful Life	
					Years	Years	
Coldstream exterior wood - replace some	1	LS	\$5,000.00	\$5,000.00	10	8	
Coldstream exterior stucco & wood - paint	1	LS	\$5,000.00	\$5,000.00	10	8	
Coldstream wading pool building - replace	1	LS	\$3,000.00	\$3,000.00	30	5	
Cabanas wood shake roof - replace	65	SQ	\$525.00	\$34,125.00	40	0	Replace wood shakes w/ asphalt singles
Cabanas exterior wood siding - replace some	1	LS	\$5,000.00	\$5,000.00	10	8	
Cabanas exterior wood siding - paint (incl doors)	1	LS	\$5,000.00	\$5,000.00	10	8	
Cabanas exterior doors - replace hardware	30	EA	\$100.00	\$3,000.00	25	15	
Summerfield asphalt shingle roof - replace	20	SQ	\$325.00	\$6,500.00	20	12	
Summerfield doors & windows (louvered) - replace	1	LS	\$5,000.00	\$5,000.00	30	10	
West Winds asphalt shingle roof - replace	15	SQ	\$325.00	\$4,875.00	20	2	
West Winds wood siding - replace	1,600	SF	\$6.00	\$9,600.00	30	2	
West Winds doors & louvers - replace	1	LS	\$5,000.00	\$5,000.00	30	6	
Barn metal roof surface - replace	22	SQ	\$1,000.00	\$22,000.00	50	2	
Barn tent - replace	4,200	SF	\$10.00	\$42,000.00	20	2	
Barn storage shed - replace	400	SF	\$15.00	\$6,000.00	20	15	
Bus stops & misc. structures - Replace	3	EA	\$3,000.00	\$9,000.00	20	10	
Building Interior							
Coldstream office areas - refurbish	3,500	SF	\$20.00	\$70,000.00	20	6	
Coldstream shower rooms - refurbish	2,000	SF	\$15.00	\$30,000.00	20	18	
Summerfield shower rooms - refurbish	1,600	SF	\$15.00	\$24,000.00	20	15	
West Winds shower rooms - refurbish	1,200	SF	\$15.00	\$18,000.00	20	15	
Barn reception and restrooms - refurbish	1	LS	\$25,000.00	\$25,000.00	20	15	
Barn kitchen equipment - replace	1	LS	\$15,000.00	\$15,000.00	20	15	
Mechanical							
Coldspring 5 ton A/C - replace	1	EA	\$10,000.00	\$10,000.00	20	15	
Coldspring propane water heaters - replace	2	EA	\$2,500.00	\$5,000.00	20	15	
Coldstream electrical panels - replace	1	LS	\$8,000.00	\$8,000.00	30	0	
Cabanas lights & receptacles - replace	30	EA	\$150.00	\$4,500.00	35	3	
Summerfield elec. water heaters - replace	2	EA	\$5,000.00	\$10,000.00	20	1	
Summerfield electric panels - replace	1	LS	\$4,000.00	\$4,000.00	30	0	
West Winds elec. water heaters - replace	2	EA	\$2,500.00	\$5,000.00	15	1	
West Winds elec. panels - replace	1	LS	\$4,000.00	\$4,000.00	30	0	
Coldstream Security Systems - Replace	1	LS	\$25,000.00	\$25,000.00	10	7	
Summerfield Security Systems - Replace	1	LS	\$10,000.00	\$10,000.00	10	7	
West Winds Security Systems - Replace	1	LS	\$10,000.00	\$10,000.00	10	7	
Amenities							
SWIMMING POOLS							
Coldstream pool shell - repair/replace	5,600	SF	\$30.00	\$168,000.00	50	16	Includes baby pool
Summerfield pool shell -repair/replace	5,700	SF	\$30.00	\$171,000.00	50	25	Includes baby pool

Itemized worksheet

Capital Item To Be Replaced	Quantity		Unit cost	CapEx Budget	Expected	Remaining	Planning Notes
	Count	Units			(or Frequency)	Useful Life	
					Years	Years	
West Winds pool shell - repair/replace	4,200	SF	\$30.00	\$126,000.00	50	25	Includes baby pool
Coldstream pool shell - white coat	5,600	SF	\$12.00	\$67,200.00	7	5	Includes baby pool
Summerfield pool shell - white coat	5,700	SF	\$12.00	\$68,400.00	7	0	Includes baby pool
West Winds pool shell - white coat	4,200	SF	\$12.00	\$50,400.00	7	4	Includes baby pool
Coldstream coping & tile - replace	450	FT	\$75.00	\$33,750.00	15	10	Includes baby pool
Summerfield coping & tile - replace	430	FT	\$75.00	\$32,250.00	15	13	Includes baby pool
West Winds coping & tile - replace	290	FT	\$75.00	\$21,750.00	15	7	Includes baby pool
Coldstream pool deck - periodic replace	1,130	SF	\$15.00	\$16,950.00	5	4	10% every 5 years
Summerfield pool deck - periodic replace	900	SF	\$15.00	\$13,500.00	5	4	10% every 5 years
West Winds wood deck replace surface replace	2,000	SF	\$16.00	\$32,000.00	20	2	
West Winds pool deck - periodic replace	490	SF	\$15.00	\$7,350.00	5	4	10% every 5 years
West Winds deck structure - refurbish	2,000	SF	\$10.00	\$20,000.00	20	2	
West Winds wood deck rail - replace	190	FT	\$30.00	\$5,700.00	20	2	
West Winds gazebo - refurbish	1	EA	\$5,000.00	\$5,000.00	20	8	
Coldstream pool equipment - replace	1	LS	\$20,000.00	\$20,000.00	10	4	
Summerfield pool equipment - replace	1	LS	\$15,000.00	\$15,000.00	10	8	
West Winds pool equipment - replace	1	LS	\$15,000.00	\$15,000.00	10	6	
Large fixed umbrella, all pools - replace	4	EA	\$2,000.00	\$8,000.00	10	8	
Life guard stands, all pools - replace	8	EA	\$3,000.00	\$24,000.00	15	7	
Pool ladders, all pools - replace	16	EA	\$1,200.00	\$19,200.00	15	7	
Coldstream spiral slide	1	EA	\$15,000.00	\$15,000.00	15	10	
Summerfield diving board	1	EA	\$5,000.00	\$5,000.00	15	9	
Pool furniture, all pools - replace	1	LS	\$50,000.00	\$50,000.00	8	5	
Coldstream wood pergola - replace	2,200	SF	\$12.00	\$26,400.00	25	2	
Coldstream stone wall - periodic repairs	1	LS	\$10,000.00	\$10,000.00	5	3	
Coldstream exterior light poles - replace	16	EA	\$1,600.00	\$25,600.00	30	22	
Coldstream metal fence - replace	360	FT	\$50.00	\$18,000.00	30	25	
Summerfield metal fence - replace	440	FT	\$50.00	\$22,000.00	30	25	
West Winds metal fence - replace	220	FT	\$50.00	\$11,000.00	30	25	
SPORT COURTS							
Coldstream tennis courts - color coat	6	EA	\$6,000.00	\$36,000.00	7	0	
Coldstream tennis courts - resurface	6	EA	\$25,000.00	\$150,000.00	21	14	
Summerfield tennis courts - color coat	2	EA	\$6,000.00	\$12,000.00	7	1	
Summerfield tennis courts - resurface	2	EA	\$25,000.00	\$50,000.00	21	15	
Coldstream tennis court fence - replace	960	FT	\$50.00	\$48,000.00	30	25	
Summerfield tennis court fence - replace	460	FT	\$50.00	\$23,000.00	30	6	
Coldstream basketball court - resurface	3,800	SF	\$3.00	\$11,400.00	20	6	
Summerfield basketball court - resurface	1,800	SF	\$5.00	\$9,000.00	20	12	
Pinehurst basketball court - resurface	3,500	SF	\$3.00	\$10,500.00	20	14	

Itemized worksheet

Capital Item To Be Replaced	Quantity		Unit cost	CapEx Budget	Expected	Remaining	Planning Notes
	Count	Units			Useful Life (or Frequency) Years	Useful Life Years	
McFadden basketball court - resurface	1,800	SF	\$3.00	\$5,400.00	20	12	
Woodridge basketball court - resurface	900	SF	\$3.00	\$2,700.00	20	14	
West Winds basketball court - resurface	1,600	SF	\$3.00	\$4,800.00	20	4	
West Winds wood retaining wall - replace	150	SF	\$30.00	\$4,500.00	25	4	
PLAYGROUNDS & PICNIC SITES							
Twin Lake tot lot equipment - replace	1	LS	\$45,000.00	\$45,000.00	20	13	
Twin Lake tot lot fence - replace	1	LS	\$6,000.00	\$6,000.00	20	19	
Edgewood tot lot equipment - replace	1	LS	\$30,000.00	\$30,000.00	20	11	
Beach Drive tot lot equipment - replace	1	LS	\$35,000.00	\$35,000.00	20	13	
High Beach Court tot lot equipment - replace	1	LS	\$30,000.00	\$30,000.00	20	13	
S Steamboat Way tot lot equipment - replace	1	LS	\$30,000.00	\$30,000.00	20	12	
N Steamboat Way tot lot equipment - replace	1	LS	\$30,000.00	\$30,000.00	20	12	
Pond Fountain tot lot equipment - replace	1	LS	\$35,000.00	\$35,000.00	20	8	
McFadden tot lot equipment - replace	1	LS	\$50,000.00	\$50,000.00	20	12	
Woodridge tot lot equipment - replace	1	LS	\$35,000.00	\$35,000.00	20	15	
Sawyer Road tot lot equipment - replace	1	LS	\$40,000.00	\$40,000.00	20	14	
North Shore tot lot equipment - replace	1	LS	\$35,000.00	\$35,000.00	20	14	
Coldstream tot lot equipment - replace	1	LS	\$35,000.00	\$35,000.00	20	11	
Woodland Preserve tot lot equipment - replace	1	LS	\$25,000.00	\$25,000.00	20	19	
Sawyer Rd tot lot gazebo - replace	1	LS	\$3,000.00	\$3,000.00	20	2	
Pinehurst picnic pavilion - refurbish	1	LS	\$6,000.00	\$6,000.00	20	19	
Woodridge picnic pavilion - refurbish	1	LS	\$6,000.00	\$6,000.00	20	17	
BEACHES & DOG PARK							
Beach boat racks (all) - periodic replacements	1	LS	\$5,000.00	\$5,000.00	5	3	
Coldstream Beach timber retaining wall - replace	150	SF	\$30.00	\$4,500.00	25	7	
Dog park metal fence - replace	1100	FT	\$35.00	\$38,500.00	30	29	
Dog park water fountains - replace	1	LS	\$5,000.00	\$5,000.00	20	19	
TRAILS, BRIDGES & ESPLANADE							
Asphalt paved trails - resurface 1/3	21,000	SF	\$1.50	\$31,500.00	15	1	approx. 3.0 miles total paved trails
Asphalt paved trails - resurface 1/3	21,000	SF	\$1.50	\$31,500.00	15	6	
Asphalt paved trails - resurface 1/3	21,000	SF	\$1.50	\$31,500.00	15	11	
Crushed stone trails - resurface 1/3	10,500	SF	\$0.50	\$5,250.00	3	1	approx. 1.5 miles total stone trails
Crushed stone trails - resurface 1/3	10,500	SF	\$0.50	\$5,250.00	3	2	
Crushed stone trails - resurface 1/3	10,500	SF	\$0.50	\$5,250.00	3	3	
Wood bridges & stairs - periodic replace	1	LS	\$5,000.00	\$5,000.00	3	2	
Ben's Branch Bridge - replace wood deck	700	SF	\$10.00	\$7,000.00	20	6	
Ben's Branch Bridge - scrape/paint steel	1	LS	\$75,000.00	\$75,000.00	10	1	
Esplanade wood bridge - replace	1	LS	\$15,000.00	\$15,000.00	25	20	
Esplanade concrete deck - surface repairs	22,000	SF	\$1.00	\$22,000.00	5	1	for 4 years per engineering assessment

Itemized worksheet

Capital Item To Be Replaced	Quantity Count Units	Unit cost	CapEx Budget	Expected Useful Life (or Frequency) Years	Remaining Useful Life Years	Planning Notes
Esplanade girder and pier - repairs	1 LS	\$50,000.00	\$50,000.00	30	0	
Esplanade - safety railings - provide	5,000 LF	\$40.00	\$200,000.00	20	0	galvanized steel
Other						
PONDS, LAKES AND DAMS						
Lake Linganore Spillway	1 LS	\$500,000.00	\$500,000.00	50	36	
Lake Linganore Dam	1 LS	\$500,000.00	\$500,000.00	50	36	
Lake Linganore Fountains	1 LS	\$25,000.00	\$25,000.00	20	6	
Lake Marion Dam	1 LS	\$400,000.00	\$400,000.00	50	36	
Lake Marion Outlet Riser	1 LS	\$75,000.00	\$75,000.00	50	36	
Lake Marion Outlet Barrel	1 LS	\$100,000.00	\$100,000.00	50	36	
Lake Marion Sheetpile/Stone Wall	465 LF	\$100.00	\$46,500.00	50	36	
Lake Merle Dam	1 LS	\$500,000.00	\$500,000.00	50	29	
Lake Merle Dam Repairs	1 LS	\$100,000.00	\$100,000.00	50	1	Repairs for surface slippage
Lake Merle Outlet Riser	1 LS	\$80,000.00	\$80,000.00	50	29	
Lake Merle Outlet Barrel	1 LS	\$125,000.00	\$125,000.00	50	29	
Lake Anita Louise Dam	1 LS	\$200,000.00	\$200,000.00	50	25	
Lake Anita Louise Outlet Riser	1 LS	\$60,000.00	\$60,000.00	50	25	
Lake Anita Louise Outlet Barrel	1 LS	\$100,000.00	\$100,000.00	50	25	
Pinehurst Pond Dam	1 LS	\$150,000.00	\$150,000.00	50	25	
Pinehurst Pond Outlet Riser	1 LS	\$50,000.00	\$50,000.00	50	25	
Pinehurst Pond Outlet Barrel	1 LS	\$75,000.00	\$75,000.00	50	25	
Dredging of all 4 Lakes & 1 Pond	1 LS	\$366,000.00	\$366,000.00	1	2	\$3.75M Loan @ 3.8% - repay 2020-2032
Ongoing Periodic Dredging	1 LS	\$500,000.00	\$500,000.00	5	7	Every 5 years after major dredging completed
VEHICLES						
2017 Ford Focus	1 EA	\$20,000.00	\$20,000.00	10	8	
2017 Ford F250	1 EA	\$35,000.00	\$35,000.00	10	8	
2005 Hyundai Sante Fe	1 EA	\$25,000.00	\$25,000.00	10	1	
2014 Toyota Rav 4	1 EA	\$30,000.00	\$30,000.00	10	7	
2013 Toyota Tacoma	1 EA	\$30,000.00	\$30,000.00	10	6	
Kubota L3130	1 LS	\$30,000.00	\$30,000.00	10	0	

Annual Expenses 2018 - 2032

Year:	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032
Year Number:	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Site															
STORMWATER															
Aspen	0	0	0	0	0	0	0	0	0	0	0	17,350	0	0	0
Aspen (North)	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Audubon Single Family	0	0	0	0	0	0	8,090	0	0	0	0	0	0	0	0
Audubon Terrace TH	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Audubon Terrace Villas	0	0	0	0	0	1,790	0	0	0	0	0	0	0	0	0
Balmoral	0	0	0	0	0	0	0	23,030	0	0	0	0	0	0	0
Coldstream	0	0	0	25,810	0	0	0	0	0	0	0	0	0	0	0
Meadows	0	0	0	0	0	29,100	0	0	0	0	0	0	0	0	0
Nightingale	0	0	0	0	0	4,570	0	0	0	0	0	0	0	0	0
North Shores	0	0	0	0	0	0	0	16,448	0	0	0	0	0	0	0
Pinehurst	0	0	0	0	0	0	0	0	88,024	0	0	0	0	0	0
Summerfield	0	0	0	0	8,050	0	0	0	0	0	0	0	0	0	0
West Winds	0	0	0	0	0	0	0	0	0	0	0	0	0	17,900	0
Woodlands Preserve	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Woodridge	0	0	0	0	0	0	0	0	20,740	0	0	0	0	0	0
Eaglehead Drive	0	0	0	0	0	0	0	0	0	0	24,200	0	0	0	0
West Winds Pool Parking Areas	0	0	0	0	0	0	0	0	0	0	5,000	0	0	0	0
West Winds Stormwater Mgmt Basin 254	0	0	0	0	0	0	0	0	0	0	0	0	0	5,000	0
West Winds Stormwater Mgmt Basin 467	0	0	0	0	0	0	0	0	0	0	0	0	0	5,000	0
West Winds Stormwater Mgmt Basin 468	0	0	0	0	0	0	0	0	0	0	0	0	0	5,000	0
West Winds Stormwater Mgmt Basin 610	0	0	0	0	0	0	0	0	0	0	0	0	0	5,000	0
West Winds Stormwater Mgmt Basin 640	0	0	0	0	0	0	0	0	0	0	0	0	0	5,000	0
West Winds Stormwater Mgmt Basin 641	0	0	0	0	0	0	0	0	0	0	0	0	0	5,000	0
Woodridge Stormwater Mgmt Basin	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Swale Repairs - All Villages	35,000	35,000	35,000	35,000	35,000	35,000	35,000	35,000	35,000	35,000	35,000	35,000	35,000	35,000	35,000
PAVING, CURBING & FIATWORK															
Aspen - Accipiter Court	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Aspen - Accipiter Drive	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Aspen - Accipiter Drive	0	171,418	0	0	0	0	0	0	0	0	0	0	0	0	0
Aspen - Box Turtle Court	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Aspen - Box Turtle Trail	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Aspen - Forest Park Drive/Ct	0	15,622	0	0	0	0	0	0	0	0	0	0	0	0	0
Aspen - Ilex Court	0	18,578	0	0	0	0	0	0	0	0	0	0	0	0	0
Aspen - Picea Court	0	33,989	0	0	0	0	0	0	0	0	0	0	0	0	0
Aspen North - Arapahoe Road	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Aspen North - L'Abri Court	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Aspen North - Pax Court	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Aspen North - Shalom Court	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Aspen North - Shavano Road East	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Aspen North - Shavano Road West	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Audubon SF - Goldeneye Court	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Audubon SF - Heron Court	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Audubon SF - Sanderling Court	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Audubon SF - Sparrow Court	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Audubon SF - Whistling Swan Way	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Audubon SF - Whooping Crane Way	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Audubon SF - conc. curb and gutter	0	0	0	0	0	0	14,700	0	0	0	0	0	0	0	0
Audubon TH - Audubon Way	0	0	0	40,280	0	0	0	0	0	0	0	0	0	0	0
Audubon TH - Chickadee Lane	0	0	0	0	0	0	0	0	0	0	0	9,458	0	0	0
Audubon TH - Field Sparrow Lane	0	0	0	0	0	0	0	0	0	0	0	10,640	0	0	0
Audubon TH - Nuthatch Drive	0	0	0	0	0	0	0	0	0	0	0	37,852	0	0	0
Audubon TH - White Pelican Way	0	0	0	47,500	0	0	0	0	0	0	0	0	0	0	0
Audubon TH - Wood Thrush Drive	0	0	0	0	0	0	0	0	0	0	44,354	0	0	0	0
Audubon TH - conc. curb and gutter	0	0	0	0	0	0	13,650	0	0	0	0	0	0	0	0
Audubon Villas - Red Tail Court	0	23,486	0	0	0	0	0	0	0	0	0	0	0	0	0
Audubon Villas - Swallow Court akaCliff Swallow	0	23,750	0	0	0	0	0	0	0	0	0	0	0	0	0
Balmoral - Balmoral Court	0	0	0	18,240	0	0	0	0	0	0	0	0	0	0	0
Balmoral - Balmoral Overlook	0	0	0	36,860	0	0	0	0	0	0	0	0	0	0	0
Balmoral - Balmoral Place	0	0	0	6,713	0	0	0	0	0	0	0	0	0	0	0
Balmoral - Balmoral Ridge	0	0	0	60,420	0	0	0	0	0	0	0	0	0	0	0

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Year:	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032
Year Number:	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Balmoral - Glen Drive/Lane	0	0	0	9,753	0	0	0	0	0	0	0	0	0	0	0
Balmoral - Greenlea Court	0	0	0	4,354	0	0	0	0	0	0	0	0	0	0	0
Balmoral - Hedge Apple Bend	0	0	0	37,446	0	0	0	0	0	0	0	0	0	0	0
Balmoral - Hedge Apple Court	0	0	0	8,571	0	0	0	0	0	0	0	0	0	0	0
Balmoral - Indian Head Lane	0	0	0	15,707	0	0	0	0	0	0	0	0	0	0	0
Balmoral - Meadow Lawn Circle	0	0	0	68,273	0	0	0	0	0	0	0	0	0	0	0
Balmoral - Meadow Point Bend	0	0	0	6,587	0	0	0	0	0	0	0	0	0	0	0
Balmoral - Meadow Point Terrace	0	0	0	66,009	0	0	0	0	0	0	0	0	0	0	0
Balmoral - Park Rose Ct	0	0	0	3,990	0	0	0	0	0	0	0	0	0	0	0
Balmoral - conc. curb and gutter	0	0	0	0	0	0	13,650	0	0	0	0	0	0	0	0
Coldstream - Athabasca Trail	0	0	6,444	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream - Baykal Trail	0	0	7,663	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream - Caspian Way	0	0	9,405	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream - Coldstream Drive	0	0	81,510	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream - Coldstream Drive East	0	0	41,452	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream - Coldstream Drive West	0	0	101,080	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream - Cool Font Crossing	0	0	25,777	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream - Dasana Court aka Iliamna	0	0	8,423	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream - Erie Way	0	0	6,967	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream - Huron Court	0	0	7,663	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream - Huron Terrace/Trail	0	0	9,928	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream - Ladoga Lane	0	0	19,000	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream - Lianna Place/Lagoda Place	0	0	4,813	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream - Maracaibo Mews	0	0	2,956	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream - Nyasa Bend	0	0	48,133	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream - Old Stonehouse Lane	0	0	25,967	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream - Onega Place	0	0	6,333	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream - Placid Court	0	0	5,399	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream - Placid Place	0	0	6,444	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream - Reindeer Place	0	0	6,618	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream - Reindeer Trail	0	0	7,663	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream - Tahoe Trail	0	0	14,630	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream - conc. curb and gutter	0	0	0	0	0	0	0	14,070	0	0	0	0	0	0	0
Meadows - Cartor Court	0	0	0	0	0	0	0	0	0	0	0	0	3,293	0	0
Meadows - Farm View Court	0	0	0	0	0	0	0	0	0	0	0	0	29,028	0	0
Meadows - Fox Chase Circle	0	0	0	0	0	0	0	0	0	0	0	0	18,662	0	0
Meadows - Fox Chase Crossing	0	0	0	0	0	0	0	0	0	0	0	0	12,366	0	0
Meadows - Fox Chase Road	0	0	0	0	0	0	0	0	0	0	0	0	132,071	0	0
Meadows - Fox Meadow Circle	0	0	0	0	0	0	0	0	0	0	0	0	14,978	0	0
Meadows - Horn Court	0	0	0	0	0	0	0	0	0	0	0	0	6,967	0	0
Meadows - Masters Court	0	0	0	0	0	0	0	0	0	0	0	0	6,650	0	0
Meadows - Masters Road	0	0	0	0	0	0	0	0	0	0	0	0	98,578	0	0
Meadows - Meadow Head Circle	0	0	0	0	0	0	0	0	0	0	0	0	9,975	0	0
Meadows - Meadow Lake Circle	0	0	0	0	0	0	0	0	0	0	0	0	14,018	0	0
Meadows - Meadow Lake Road	0	0	0	0	0	0	0	0	0	0	0	0	97,359	0	0
Meadows - Paddock Road/Ct	0	0	0	0	0	0	0	0	0	0	0	0	8,508	0	0
Meadows - Saddle Road	0	0	0	0	0	0	0	0	0	0	0	0	32,807	0	0
Meadows - Stirrup Court	0	0	0	0	0	0	0	0	0	0	0	0	6,793	0	0
Meadows - White Horse Circle	0	0	0	0	0	0	0	0	0	0	0	0	7,136	0	0
Meadows - concrete sidewalk	0	0	1,020	0	0	0	0	1,020	0	0	0	0	1,020	0	0
Meadows - conc. curb and gutter	0	0	0	0	0	42,000	0	0	0	0	0	0	0	0	0
Nightingale - Nightingale Court	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Nightingale - Nightingale Place	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Nightingale - Nightingale Way	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
North Shores - Commodore Court	0	0	0	57,203	0	0	0	0	0	0	0	0	0	0	0
North Shores - Cool Font Crossing	0	0	0	29,292	0	0	0	0	0	0	0	0	0	0	0
North Shores - Harbor Light Way	0	0	0	31,582	0	0	0	0	0	0	0	0	0	0	0
North Shores - North Shore Way	0	0	0	213,539	0	0	0	0	0	0	0	0	0	0	0
North Shores - Northshore Square	0	0	0	72,221	0	0	0	0	0	0	0	0	0	0	0
North Shores - Point Clear Road/Ct	0	0	0	28,078	0	0	0	0	0	0	0	0	0	0	0
North Shores - Vantage Point Court	0	0	0	16,256	0	0	0	0	0	0	0	0	0	0	0
North Shores - Waters Edge Court	0	0	0	0	0	39,309	0	0	0	0	0	0	0	0	0

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North Shores - concrete sidewalk	0	0	0	6,231	0	0	0	0	6,231	0	0	0	0	6,231	0
North Shores - conc. curb and gutter	0	0	0	0	0	0	24,675	0	0	0	0	0	0	0	0
Pinehurst - Beach Drive	78,111	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Bens Ford	0	0	10,133	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Edgewood Drive/ Rd	86,344	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Forest Edge Circle	0	0	26,917	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Forest Edge Court	0	0	3,958	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Forest Edge Place	0	0	5,763	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Glade Court	6,418	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Glade Court North	0	0	5,067	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Glade Court South	7,389	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Hemlock Point Road	79,388	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - High Beach Court	29,028	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Highwood Place	0	0	8,423	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Hill Beach Court East	0	0	73,889	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Lake Court East	0	0	4,011	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Lake Court West	0	0	6,122	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Lake Front Court	12,667	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Lake Point Court	0	0	7,125	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Lake Point Overlook	0	0	9,057	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Lake Ridge Court	0	0	8,740	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Lake Ridge Drive	0	0	15,675	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Lake Ridge Place	0	0	4,286	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Lake Ridge Road East	0	0	58,900	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Lake Ridge Road West	0	0	145,033	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Lake Square Court	9,236	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Lake View Court	33,567	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Long Beach Court	9,500	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Oak Crest Circle	0	0	31,667	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Oak Crest Court	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Oak Crest Place	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Oak Ledge Court	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Oak Ledge Place	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Oak Ridge Ct	0	0	4,180	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Oak Ridge Road	0	0	57,317	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Oak Rise Court	0	0	4,433	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Oak Rise Road	0	0	17,243	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Old Barn Court	23,349	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Old Barn Drive	0	0	7,684	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Old Barn Road	138,616	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Pine Hurst Drive	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Ridge Crest Court	3,420	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Ridge Crest Place	2,913	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Ridge Crest Road	0	0	45,663	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Ridge Point Place	0	0	6,122	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Ridgewood Court	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Ridgewood Place	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Rimrock Ct	0	0	3,420	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Rimrock Lane	0	0	22,293	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Rimrock Place	7,178	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Rimrock Road	0	0	34,042	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Rock Crest Ct	0	0	5,320	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Rock Ridge Court	0	0	9,014	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Rock Ridge Road	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - San Andrews Ct	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Stoneedge Court	0	0	10,788	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Twin Lake Court	6,756	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Twin Lake Drive	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - conc. curb and gutter	0	0	0	0	0	2,100	0	0	0	0	0	0	0	0	0
Pinehurst - concrete sidewalk	0	0	0	0	0	6,987	0	0	0	0	6,987	0	0	0	0
Summerfield - North Steamboat Way	0	0	0	0	0	0	0	0	0	0	0	0	129,042	0	0
Summerfield - South Steamboat Way	0	0	0	0	0	0	0	0	0	0	0	0	83,389	0	0

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Summerfield - Illinois Ct.	0	0	0	0	0	0	0	0	0	0	0	0	30,400	0	0
Summerfield - conc. curb and gutter	0	0	0	0	0	6,000	0	0	0	0	0	0	0	0	0
Summerfield - concrete sidewalk	0	0	0	0	0	9,367	0	0	0	0	9,367	0	0	0	0
West Winds - Club House Court	0	0	0	4,117	0	0	0	0	0	0	0	0	0	0	0
West Winds - Club House Way	0	0	0	5,067	0	0	0	0	0	0	0	0	0	0	0
West Winds - Eagle Court	0	0	0	4,750	0	0	0	0	0	0	0	0	0	0	0
West Winds - Eagle Trace Drive	0	0	0	52,778	0	0	0	0	0	0	0	0	0	0	0
Woodlands Preserve - Divot Court	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Woodlands Preserve - Country Club Terrace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Woodlands Preserve - conc. curb and gutter	0	0	0	0	0	0	0	0	6,750	0	0	0	0	0	0
Woodridge - Burger Way	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Woodridge - Cardozo Street	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Woodridge - Woodcliff Court	0	0	35,467	0	0	0	0	0	0	0	0	0	0	0	0
Woodridge - Woodcrest Court	0	0	0	0	0	0	0	0	0	0	5,911	0	0	0	0
Woodridge - Woodcrest Road	0	0	0	0	0	0	0	0	0	0	69,667	0	0	0	0
Woodridge - Woodfield Court	0	0	19,211	0	0	0	0	0	0	0	0	0	0	0	0
Woodridge - Woodlake Place	0	0	14,989	0	0	0	0	0	0	0	0	0	0	0	0
Woodridge - Woodland Road	0	0	0	0	0	0	127,933	0	0	0	0	0	0	0	0
Woodridge - Woodridge Road	0	0	89,511	0	0	0	0	0	0	0	0	0	0	0	0
Woodridge - Woodrise Road	0	0	0	0	0	0	25,122	0	0	0	0	0	0	0	0
Eaglehead Drive	0	383,800	0	0	0	0	0	0	0	0	0	0	0	0	0
Eaglehead Drive - conc. curb and gutter	0	0	0	0	42,000	0	0	0	0	0	0	0	0	0	42,000
Coldstream beach parking lot	0	0	0	0	0	0	8,000	0	0	0	0	0	0	0	0
Coldstream pool parking lot	0	0	0	55,000	0	0	0	0	0	0	0	0	0	0	0
Coldstream pool - conc. curb and gutter	0	0	0	4,200	0	0	0	0	0	0	0	0	0	4,200	0
Coldstream pool - concrete sidewalk	0	0	0	0	0	2,797	0	0	0	0	2,797	0	0	0	0
McFadden playground parking lot	0	0	0	0	0	0	0	0	0	0	0	0	5,250	0	0
Summerfield pool parking lot	0	0	0	0	0	22,000	0	0	0	0	0	0	0	0	0
Summerfield pool - conc. curb and gutter	0	0	0	0	2,100	0	0	0	0	0	0	0	0	0	2,100
Summerfield pool - concrete sidewalk	0	0	0	0	1,326	0	0	0	0	1,326	0	0	0	0	1,326
West Winds pool parking lot	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
West Winds pool - bituminous curbing	0	0	0	0	0	0	0	4,500	0	0	0	0	0	0	0
LANDSCAPING & APPURTENANCES															
Property signage - periodic replacements	20,000	0	0	0	0	20,000	0	0	0	0	20,000	0	0	0	0
Trees and perennials - periodic replacements	0	0	0	0	0	30,000	0	0	0	0	0	0	0	0	0
Retaining walls - Summerfield Pool - replace	0	0	0	12,000	0	0	0	0	0	0	0	0	0	0	0
Retaining wall - Pinchurst #1 - replace	18,000	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Retaining wall - Pinchurst #2 - replace	0	0	0	0	0	0	3,000	0	0	0	0	0	0	0	0
Retaining wall - Pinchurst entrance - replace	0	0	0	0	0	0	0	12,000	0	0	0	0	0	0	0
Retaining walls - North Shore #1 - replace	0	0	0	0	0	0	0	57,000	0	0	0	0	0	0	0
Retaining walls - North Shore #2 - replace	0	0	0	0	90,000	0	0	0	0	0	0	0	0	0	0
Retaining wall - Summerfield - replace	0	0	0	30,000	0	0	0	0	0	0	0	0	0	0	0
Light Poles - West Winds - replace	0	0	0	0	0	0	0	18,000	0	0	0	0	0	0	0
Guard rails - Woodridge - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Cluster mail box units - Periodic Replacements	0	78,000	0	0	0	0	78,000	0	0	0	0	78,000	0	0	0
Building Exterior															
Coldstream wood shake roof - replace	36,750	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream exterior wood - replace some	0	0	0	0	0	0	0	0	5,000	0	0	0	0	0	0
Coldstream exterior stucco & wood - paint	0	0	0	0	0	0	0	0	5,000	0	0	0	0	0	0
Coldstream wading pool building - replace	0	0	0	0	0	3,000	0	0	0	0	0	0	0	0	0
Cabanas wood shake roof - replace	34,125	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Cabanas exterior wood siding - replace some	0	0	0	0	0	0	0	0	5,000	0	0	0	0	0	0
Cabanas exterior wood siding - paint (incl doors)	0	0	0	0	0	0	0	0	5,000	0	0	0	0	0	0
Cabanas exterior doors - replace hardware	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Summerfield asphalt shingle roof - replace	0	0	0	0	0	0	0	0	0	0	0	0	6,500	0	0
Summerfield doors & windows (louvered) - replace	0	0	0	0	0	0	0	0	0	0	5,000	0	0	0	0
West Winds asphalt shingle roof - replace	0	0	4,875	0	0	0	0	0	0	0	0	0	0	0	0
West Winds wood siding - replace	0	0	9,600	0	0	0	0	0	0	0	0	0	0	0	0
West Winds doors & louvers - replace	0	0	0	0	0	0	5,000	0	0	0	0	0	0	0	0
Barn metal roof surface - replace	0	0	22,000	0	0	0	0	0	0	0	0	0	0	0	0
Barn tent - replace	0	0	42,000	0	0	0	0	0	0	0	0	0	0	0	0

Annual Expenses 2018 - 2032

Year:	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032
Year Number:	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Barn storage shed - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Bus stops & misc. structures - Replace	0	0	0	0	0	0	0	0	0	0	9,000	0	0	0	0
Building Interior															
Coldstream office areas - refurbish	0	0	0	0	0	0	70,000	0	0	0	0	0	0	0	0
Coldstream shower rooms - refurbish	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Summerfield shower rooms - refurbish	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
West Winds shower rooms - refurbish	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Barn reception and restrooms - refurbish	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Barn kitchen equipment - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Mechanical															
Coldspring 5 ton A/C - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Coldspring propane water heaters - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream electrical panels - replace	8,000	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Cabanas lights & receptacles - replace	0	0	0	4,500	0	0	0	0	0	0	0	0	0	0	0
Summerfield elec. water heaters - replace	0	10,000	0	0	0	0	0	0	0	0	0	0	0	0	0
Summerfield electric panels - replace	4,000	0	0	0	0	0	0	0	0	0	0	0	0	0	0
West Winds elec. water heaters - replace	0	5,000	0	0	0	0	0	0	0	0	0	0	0	0	0
West Winds elec. panels - replace	4,000	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream Security Systems - Replace	0	0	0	0	0	0	0	25,000	0	0	0	0	0	0	0
Summerfield Security Systems - Replace	0	0	0	0	0	0	0	10,000	0	0	0	0	0	0	0
West Winds Security Systems - Replace	0	0	0	0	0	0	0	10,000	0	0	0	0	0	0	0
Amenities															
SWIMMING POOLS															
Coldstream pool shell - repair/replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Summerfield pool shell - repair/replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
West Winds pool shell - repair/replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream pool shell - white coat	0	0	0	0	0	67,200	0	0	0	0	0	0	67,200	0	0
Summerfield pool shell - white coat	68,400	0	0	0	0	0	0	68,400	0	0	0	0	0	0	68,400
West Winds pool shell - white coat	0	0	0	0	50,400	0	0	0	0	0	0	50,400	0	0	0
Coldstream coping & tile - replace	0	0	0	0	0	0	0	0	0	0	33,750	0	0	0	0
Summerfield coping & tile - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	32,250	0
West Winds coping & tile - replace	0	0	0	0	0	0	0	21,750	0	0	0	0	0	0	0
Coldstream pool deck - periodic replace	0	0	0	0	16,950	0	0	0	0	16,950	0	0	0	0	16,950
Summerfield pool deck - periodic replace	0	0	0	0	13,500	0	0	0	0	13,500	0	0	0	0	13,500
West Winds wood deck replace surface replace	0	0	32,000	0	0	0	0	0	0	0	0	0	0	0	0
West Winds pool deck - periodic replace	0	0	0	0	7,350	0	0	0	0	7,350	0	0	0	0	7,350
West Winds deck structure - refurbish	0	0	20,000	0	0	0	0	0	0	0	0	0	0	0	0
West Winds wood deck rail - replace	0	0	5,700	0	0	0	0	0	0	0	0	0	0	0	0
West Winds gazebo - refurbish	0	0	0	0	0	0	0	0	5,000	0	0	0	0	0	0
Coldstream pool equipment - replace	0	0	0	0	20,000	0	0	0	0	0	0	0	0	0	20,000
Summerfield pool equipment - replace	0	0	0	0	0	0	0	0	15,000	0	0	0	0	0	0
West Winds pool equipment - replace	0	0	0	0	0	0	15,000	0	0	0	0	0	0	0	0
Large fixed umbrella, all pools - replace	0	0	0	0	0	0	0	0	8,000	0	0	0	0	0	0
Life guard stands, all pools - replace	0	0	0	0	0	0	0	24,000	0	0	0	0	0	0	0
Pool ladders, all pools - replace	0	0	0	0	0	0	0	19,200	0	0	0	0	0	0	0
Coldstream spiral slide	0	0	0	0	0	0	0	0	0	0	15,000	0	0	0	0
Summerfield diving board	0	0	0	0	0	0	0	0	5,000	0	0	0	0	0	0
Pool furniture, all pools - replace	0	0	0	0	0	50,000	0	0	0	0	0	0	0	50,000	0
Coldstream wood pergola - replace	0	0	26,400	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream stone wall - periodic repairs	0	0	0	10,000	0	0	0	0	0	10,000	0	0	0	10,000	0
Coldstream exterior light poles - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream metal fence - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Summerfield metal fence - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
West Winds metal fence - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
SPORT COURTS															
Coldstream tennis courts - color coat	36,000	0	0	0	0	0	0	36,000	0	0	0	0	0	0	36,000
Coldstream tennis courts - resurface	0	0	0	0	0	0	0	0	0	0	0	0	0	0	150,000
Summerfield tennis courts - color coat	0	12,000	0	0	0	0	0	0	12,000	0	0	0	0	0	0
Summerfield tennis courts - resurface	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream tennis court fence - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Summerfield tennis court fence - replace	0	0	0	0	0	0	23,000	0	0	0	0	0	0	0	0
Coldstream basketball court - resurface	0	0	0	0	0	0	11,400	0	0	0	0	0	0	0	0

Annual Expenses 2018 - 2032

Year:	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032
Year Number:	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Summerfield basketball court - resurface	0	0	0	0	0	0	0	0	0	0	0	0	9,000	0	0
Pinehurst basketball court - resurface	0	0	0	0	0	0	0	0	0	0	0	0	0	0	10,500
McFadden basketball court - resurface	0	0	0	0	0	0	0	0	0	0	0	0	5,400	0	0
Woodridge basketball court - resurface	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2,700
West Winds basketball court - resurface	0	0	0	0	4,800	0	0	0	0	0	0	0	0	0	0
West Winds wood retaining wall - replace	0	0	0	0	4,500	0	0	0	0	0	0	0	0	0	0
PLAYGROUNDS & PICNIC SITES															
Twin Lake tot lot equipment - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	45,000	0
Twin Lake tot lot fence - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Edgewood tot lot equipment - replace	0	0	0	0	0	0	0	0	0	0	0	30,000	0	0	0
Beach Drive tot lot equipment - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	35,000	0
High Beach Court tot lot equipment - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	30,000	0
S Steamboat Way tot lot equipment - replace	0	0	0	0	0	0	0	0	0	0	0	0	30,000	0	0
N Steamboat Way tot lot equipment - replace	0	0	0	0	0	0	0	0	0	0	0	0	30,000	0	0
Pond Fountain tot lot equipment - replace	0	0	0	0	0	0	0	0	35,000	0	0	0	0	0	0
McFadden tot lot equipment - replace	0	0	0	0	0	0	0	0	0	0	0	0	50,000	0	0
Woodridge tot lot equipment - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Sawyer Road tot lot equipment - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	40,000
North Shore tot lot equipment - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	35,000
Coldstream tot lot equipment - replace	0	0	0	0	0	0	0	0	0	0	0	35,000	0	0	0
Woodland Preserve tot lot equipment - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Sawyer Rd tot lot gazebo - replace	0	0	3,000	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst picnic pavilion - refurbish	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Woodridge picnic pavilion - refurbish	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
BEACHES & DOG PARK															
Beach boat racks (all) - periodic replacements	0	0	0	5,000	0	0	0	0	5,000	0	0	0	0	5,000	0
Coldstream Beach timber retaining wall - replace	0	0	0	0	0	0	0	4,500	0	0	0	0	0	0	0
Dog park metal fence - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Dog park water fountains - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
TRAILS, BRIDGES & ESPLANADE															
Asphalt paved trails - resurface 1/3	0	31,500	0	0	0	0	0	0	0	0	0	0	0	0	0
Asphalt paved trails - resurface 1/3	0	0	0	0	0	0	31,500	0	0	0	0	0	0	0	0
Asphalt paved trails - resurface 1/3	0	0	0	0	0	0	0	0	0	0	0	31,500	0	0	0
Crushed stone trails - resurface 1/3	0	5,250	0	0	5,250	0	0	5,250	0	0	5,250	0	0	5,250	0
Crushed stone trails - resurface 1/3	0	0	5,250	0	0	5,250	0	5,250	0	5,250	0	5,250	0	0	5,250
Crushed stone trails - resurface 1/3	0	0	0	5,250	0	0	5,250	0	0	5,250	0	0	5,250	0	0
Wood bridges & stairs - periodic replace	0	0	5,000	0	0	5,000	0	0	5,000	0	0	5,000	0	0	5,000
Ben's Branch Bridge - replace wood deck	0	0	0	0	0	0	7,000	0	0	0	0	0	0	0	0
Ben's Branch Bridge - scrape/paint steel	0	75,000	0	0	0	0	0	0	0	0	0	75,000	0	0	0
Esplanade wood bridge - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Esplanade concrete deck - surface repairs	0	22,000	0	0	0	0	22,000	0	0	0	0	22,000	0	0	0
Esplanade girder and pier - repairs	50,000	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Esplanade - safety railings - provide	200,000	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Other															
PONDS, LAKES AND DAMS															
Lake Linganore Spillway	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Lake Linganore Dam	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Lake Linganore Fountains	0	0	0	0	0	0	25,000	0	0	0	0	0	0	0	0
Lake Marion Dam	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Lake Marion Outlet Riser	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Lake Marion Outlet Barrel	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Lake Marion Sheetpile/Stone Wall	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Lake Merle Dam	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Lake Merle Dam Repairs	0	100,000	0	0	0	0	0	0	0	0	0	0	0	0	0
Lake Merle Outlet Riser	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Lake Merle Outlet Barrel	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Lake Anita Louise Dam	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Lake Anita Louise Outlet Riser	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Lake Anita Louise Outlet Barrel	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst Pond Dam	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst Pond Outlet Riser	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst Pond Outlet Barrel	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0

Annual Expenses 2018 - 2032

	Year:	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032
	Year Number:	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Dredging of all 4 Lakes & 1 Pond		0	0	366,000	366,000	366,000	366,000	366,000	366,000	366,000	366,000	366,000	366,000	366,000	366,000	366,000
Ongoing Periodic Dredging		0	0	0	0	0	0	0	500,000	0	0	0	0	500,000	0	0
VEHICLES																
2017 Ford Focus		0	0	0	0	0	0	0	0	20,000	0	0	0	0	0	0
2017 Ford F250		0	0	0	0	0	0	0	0	35,000	0	0	0	0	0	0
2005 Hyundai Sante Fe		0	25,000	0	0	0	0	0	0	0	0	0	25,000	0	0	0
2014 Toyota Rav 4		0	0	0	0	0	0	0	30,000	0	0	0	0	0	0	0
2013 Toyota Tacoma		0	0	0	0	0	0	30,000	0	0	0	0	0	0	0	0
Kubota L3130		30,000	0	0	0	0	0	0	0	0	0	30,000	0	0	0	0
Total Costs		1,078,154	1,069,393	1,843,578	1,504,575	667,226	747,469	962,971	1,301,168	697,995	450,376	687,283	833,450	1,852,639	671,831	857,076
Total Costs Adjusted For 2.5% Inflation		1,078,154	1,096,128	1,936,909	1,620,263	736,493	845,693	1,116,751	1,546,680	850,439	562,458	879,780	1,093,559	2,491,593	926,126	1,211,026

Annual Expenses 2033 - 2047

Year:	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	
Year Number:	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	
Site																
STORMWATER																
Aspen	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Aspen (North)	0	0	0	0	0	0	0	0	0	0	8,530	0	0	0	0	
Audubon Single Family	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Audubon Terrace TH	0	0	0	0	0	0	8,120	0	0	0	0	0	0	0	0	
Audubon Terrace Villas	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Balmoral	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Coldstream	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Meadows	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Nightingale	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
North Shores	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Pinehurst	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Summerfield	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
West Winds	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Woodlands Preserve	0	0	0	0	0	0	0	0	0	0	0	5,136	0	0	0	
Woodridge	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Eaglehead Drive	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
West Winds Pool Parking Areas	0	0	0	0	0	0	0	0	0	0	5,000	0	0	0	0	
West Winds Stormwater Mgmt Basin 254	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
West Winds Stormwater Mgmt Basin 467	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
West Winds Stormwater Mgmt Basin 468	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
West Winds Stormwater Mgmt Basin 610	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
West Winds Stormwater Mgmt Basin 640	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
West Winds Stormwater Mgmt Basin 641	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Woodridge Stormwater Mgmt Basin	0	0	0	0	0	5,000	0	0	0	0	0	0	0	0	0	
Swale Repairs - All Villages	35,000	35,000	35,000	35,000	35,000	35,000	35,000	35,000	35,000	35,000	35,000	35,000	35,000	35,000	35,000	
PAVING, CURBING & FIATWORK																
Aspen - Accipiter Court	0	0	0	0	0	16,256	0	0	0	0	0	0	0	0	0	
Aspen - Accipiter Drive	0	0	0	0	0	76,000	0	0	0	0	0	0	0	0	0	
Aspen - Accipiter Drive	0	0	0	0	0	0	171,418	0	0	0	0	0	0	0	0	
Aspen - Box Turtle Court	0	0	0	0	0	18,071	0	0	0	0	0	0	0	0	0	
Aspen - Box Turtle Trail	0	0	0	0	0	9,458	0	0	0	0	0	0	0	0	0	
Aspen - Forest Park Drive/Ct	0	0	0	0	0	0	15,622	0	0	0	0	0	0	0	0	
Aspen - Ilex Court	0	0	0	0	0	0	18,578	0	0	0	0	0	0	0	0	
Aspen - Picea Court	0	0	0	0	0	0	33,989	0	0	0	0	0	0	0	0	
Aspen North - Arapahoe Road	0	0	41,547	0	0	0	0	0	0	0	0	0	0	0	0	
Aspen North - L'Abri Court	0	0	6,756	0	0	0	0	0	0	0	0	0	0	0	0	
Aspen North - Pax Court	0	0	5,573	0	0	0	0	0	0	0	0	0	0	0	0	
Aspen North - Shalom Court	0	0	10,133	0	0	0	0	0	0	0	0	0	0	0	0	
Aspen North - Shavano Road East	0	0	33,778	0	0	0	0	0	0	0	0	0	0	0	0	
Aspen North - Shavano Road West	0	0	47,289	0	0	0	0	0	0	0	0	0	0	0	0	
Audubon SF - Goldeneye Court	0	0	0	11,527	0	0	0	0	0	0	0	0	0	0	0	
Audubon SF - Heron Court	0	0	0	9,753	0	0	0	0	0	0	0	0	0	0	0	
Audubon SF - Sanderling Court	0	0	0	35,171	0	0	0	0	0	0	0	0	0	0	0	
Audubon SF - Sparrow Court	0	0	0	11,231	0	0	0	0	0	0	0	0	0	0	0	
Audubon SF - Whistling Swan Way	0	0	0	79,209	0	0	0	0	0	0	0	0	0	0	0	
Audubon SF - Whooping Crane Way	0	0	0	50,836	0	0	0	0	0	0	0	0	0	0	0	
Audubon SF - conc. curb and gutter	0	14,700	0	0	0	0	0	0	0	0	0	14,700	0	0	0	
Audubon TH - Audubon Way	0	0	0	0	0	0	0	0	40,280	0	0	0	0	0	0	
Audubon TH - Chickadee Lane	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Audubon TH - Field Sparrow Lane	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Audubon TH - Nuthatch Drive	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Audubon TH - White Pelican Way	0	0	0	0	0	0	0	47,500	0	0	0	0	0	0	0	
Audubon TH - Wood Thrush Drive	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Audubon TH - conc. curb and gutter	0	13,650	0	0	0	0	0	0	0	0	0	13,650	0	0	0	
Audubon Villas - Red Tail Court	0	0	0	0	0	0	23,486	0	0	0	0	0	0	0	0	
Audubon Villas - Swallow Court akaCliff Swallow	0	0	0	0	0	0	23,750	0	0	0	0	0	0	0	0	
Balmoral - Balmoral Court	0	0	0	0	0	0	0	0	18,240	0	0	0	0	0	0	
Balmoral - Balmoral Overlook	0	0	0	0	0	0	0	0	36,860	0	0	0	0	0	0	
Balmoral - Balmoral Place	0	0	0	0	0	0	0	0	6,713	0	0	0	0	0	0	
Balmoral - Balmoral Ridge	0	0	0	0	0	0	0	0	60,420	0	0	0	0	0	0	

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Balmoral - Glen Drive/Lane	0	0	0	0	0	0	0	0	9,753	0	0	0	0	0	0
Balmoral - Greenlea Court	0	0	0	0	0	0	0	0	4,354	0	0	0	0	0	0
Balmoral - Hedge Apple Bend	0	0	0	0	0	0	0	0	37,446	0	0	0	0	0	0
Balmoral - Hedge Apple Court	0	0	0	0	0	0	0	0	8,571	0	0	0	0	0	0
Balmoral - Indian Head Lane	0	0	0	0	0	0	0	0	15,707	0	0	0	0	0	0
Balmoral - Meadow Lawn Circle	0	0	0	0	0	0	0	0	68,273	0	0	0	0	0	0
Balmoral - Meadow Point Bend	0	0	0	0	0	0	0	0	6,587	0	0	0	0	0	0
Balmoral - Meadow Point Terrace	0	0	0	0	0	0	0	0	66,009	0	0	0	0	0	0
Balmoral - Park Rose Ct	0	0	0	0	0	0	0	0	3,990	0	0	0	0	0	0
Balmoral - conc. curb and gutter	0	13,650	0	0	0	0	0	0	0	0	0	13,650	0	0	0
Coldstream - Athabasca Trail	0	0	0	0	0	0	0	6,444	0	0	0	0	0	0	0
Coldstream - Baykal Trail	0	0	0	0	0	0	0	7,663	0	0	0	0	0	0	0
Coldstream - Caspian Way	0	0	0	0	0	0	0	9,405	0	0	0	0	0	0	0
Coldstream - Coldstream Drive	0	0	0	0	0	0	0	81,510	0	0	0	0	0	0	0
Coldstream - Coldstream Drive East	0	0	0	0	0	0	0	41,452	0	0	0	0	0	0	0
Coldstream - Coldstream Drive West	0	0	0	0	0	0	0	101,080	0	0	0	0	0	0	0
Coldstream - Cool Font Crossing	0	0	0	0	0	0	0	25,777	0	0	0	0	0	0	0
Coldstream - Dasana Court aka Iliamma	0	0	0	0	0	0	0	8,423	0	0	0	0	0	0	0
Coldstream - Erie Way	0	0	0	0	0	0	0	6,967	0	0	0	0	0	0	0
Coldstream - Huron Court	0	0	0	0	0	0	0	7,663	0	0	0	0	0	0	0
Coldstream - Huron Terrace/Trail	0	0	0	0	0	0	0	9,928	0	0	0	0	0	0	0
Coldstream - Ladoga Lane	0	0	0	0	0	0	0	19,000	0	0	0	0	0	0	0
Coldstream - Lianna Place/Lagoda Place	0	0	0	0	0	0	0	4,813	0	0	0	0	0	0	0
Coldstream - Maracaibo Mews	0	0	0	0	0	0	0	2,956	0	0	0	0	0	0	0
Coldstream - Nyasa Bend	0	0	0	0	0	0	0	48,133	0	0	0	0	0	0	0
Coldstream - Old Stonehouse Lane	0	0	0	0	0	0	0	25,967	0	0	0	0	0	0	0
Coldstream - Omega Place	0	0	0	0	0	0	0	6,333	0	0	0	0	0	0	0
Coldstream - Placid Court	0	0	0	0	0	0	0	5,399	0	0	0	0	0	0	0
Coldstream - Placid Place	0	0	0	0	0	0	0	6,444	0	0	0	0	0	0	0
Coldstream - Reindeer Place	0	0	0	0	0	0	0	6,618	0	0	0	0	0	0	0
Coldstream - Reindeer Trail	0	0	0	0	0	0	0	7,663	0	0	0	0	0	0	0
Coldstream - Tahoe Trail	0	0	0	0	0	0	0	14,630	0	0	0	0	0	0	0
Coldstream - conc. curb and gutter	0	0	14,070	0	0	0	0	0	0	0	0	0	14,070	0	0
Meadows - Cartor Court	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Meadows - Farm View Court	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Meadows - Fox Chase Circle	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Meadows - Fox Chase Crossing	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Meadows - Fox Chase Road	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Meadows - Fox Meadow Circle	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Meadows - Horn Court	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Meadows - Masters Court	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Meadows - Masters Road	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Meadows - Meadow Head Circle	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Meadows - Meadow Lake Circle	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Meadows - Meadow Lake Road	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Meadows - Paddock Road/Ct	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Meadows - Saddle Road	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Meadows - Stirrup Court	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Meadows - White Horse Circle	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Meadows - concrete sidewalk	42,000	0	1,020	0	0	0	0	1,020	0	0	0	0	1,020	0	0
Meadows - conc. curb and gutter	25,333	3,040	0	0	0	0	0	0	0	0	42,000	0	0	0	0
Nightingale - Nightingale Court	0	0	0	0	0	39,351	0	0	0	0	0	0	0	0	0
Nightingale - Nightingale Place	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Nightingale - Nightingale Way	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
North Shores - Commodore Court	0	0	0	0	0	0	0	0	57,203	0	0	0	0	0	0
North Shores - Cool Font Crossing	0	0	0	0	0	0	0	0	29,292	0	0	0	0	0	0
North Shores - Harbor Light Way	0	0	0	0	0	0	0	0	31,582	0	0	0	0	0	0
North Shores - North Shore Way	0	0	0	0	0	0	0	0	213,539	0	0	0	0	0	0
North Shores - Northshore Square	0	0	0	0	0	0	0	0	72,221	0	0	0	0	0	0
North Shores - Point Clear Road/Ct.	0	0	0	0	0	0	0	0	28,078	0	0	0	0	0	0
North Shores - Vantage Point Court	0	0	0	0	0	0	0	0	16,256	0	0	0	0	0	0
North Shores - Waters Edge Court	0	0	0	0	0	0	0	0	0	0	39,309	0	0	0	0

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North Shores - concrete sidewalk	0	0	0	6,231	0	0	0	0	6,231	0	0	0	0	6,231	0
North Shores - conc. curb and gutter	0	24,675	0	0	0	0	0	0	0	0	0	24,675	0	0	0
Pinehurst - Beach Drive	0	0	0	0	0	78,111	0	0	0	0	0	0	0	0	0
Pinehurst - Bens Ford	0	0	0	0	0	0	0	10,133	0	0	0	0	0	0	0
Pinehurst - Edgewood Drive/ Rd	0	0	0	0	0	86,344	0	0	0	0	0	0	0	0	0
Pinehurst - Forest Edge Circle	0	0	0	0	0	0	0	26,917	0	0	0	0	0	0	0
Pinehurst - Forest Edge Court	0	0	0	0	0	0	0	3,958	0	0	0	0	0	0	0
Pinehurst - Forest Edge Place	0	0	0	0	0	0	0	5,763	0	0	0	0	0	0	0
Pinehurst - Glade Court	0	0	0	0	0	6,418	0	0	0	0	0	0	0	0	0
Pinehurst - Glade Court North	0	0	0	0	0	0	0	5,067	0	0	0	0	0	0	0
Pinehurst - Glade Court South	0	0	0	0	0	7,389	0	0	0	0	0	0	0	0	0
Pinehurst - Hemlock Point Road	0	0	0	0	0	79,388	0	0	0	0	0	0	0	0	0
Pinehurst - High Beach Court	0	0	0	0	0	29,028	0	0	0	0	0	0	0	0	0
Pinehurst - Highwood Place	0	0	0	0	0	0	0	8,423	0	0	0	0	0	0	0
Pinehurst - Hill Beach Court East	0	0	0	0	0	0	0	73,889	0	0	0	0	0	0	0
Pinehurst - Lake Court East	0	0	0	0	0	0	0	4,011	0	0	0	0	0	0	0
Pinehurst - Lake Court West	0	0	0	0	0	0	0	6,122	0	0	0	0	0	0	0
Pinehurst - Lake Front Court	0	0	0	0	0	12,667	0	0	0	0	0	0	0	0	0
Pinehurst - Lake Point Court	0	0	0	0	0	0	0	7,125	0	0	0	0	0	0	0
Pinehurst - Lake Point Overlook	0	0	0	0	0	0	0	9,057	0	0	0	0	0	0	0
Pinehurst - Lake Ridge Court	0	0	0	0	0	0	0	8,740	0	0	0	0	0	0	0
Pinehurst - Lake Ridge Drive	0	0	0	0	0	0	0	15,675	0	0	0	0	0	0	0
Pinehurst - Lake Ridge Place	0	0	0	0	0	0	0	4,286	0	0	0	0	0	0	0
Pinehurst - Lake Ridge Road East	0	0	0	0	0	0	0	58,900	0	0	0	0	0	0	0
Pinehurst - Lake Ridge Road West	0	0	0	0	0	0	0	145,033	0	0	0	0	0	0	0
Pinehurst - Lake Square Court	0	0	0	0	0	9,236	0	0	0	0	0	0	0	0	0
Pinehurst - Lake View Court	0	0	0	0	0	33,567	0	0	0	0	0	0	0	0	0
Pinehurst - Long Beach Court	0	0	0	0	0	9,500	0	0	0	0	0	0	0	0	0
Pinehurst - Oak Crest Circle	0	0	0	0	0	0	0	31,667	0	0	0	0	0	0	0
Pinehurst - Oak Crest Court	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Oak Crest Place	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Oak Ledge Court	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Oak Ledge Place	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Oak Ridge Ct	0	0	0	0	0	0	0	4,180	0	0	0	0	0	0	0
Pinehurst - Oak Ridge Road	0	0	0	0	0	0	0	57,317	0	0	0	0	0	0	0
Pinehurst - Oak Rise Court	0	0	0	0	0	0	0	4,433	0	0	0	0	0	0	0
Pinehurst - Oak Rise Road	0	0	0	0	0	0	0	17,243	0	0	0	0	0	0	0
Pinehurst - Old Barn Court	0	0	0	0	0	23,349	0	0	0	0	0	0	0	0	0
Pinehurst - Old Barn Drive	0	0	0	0	0	0	0	7,684	0	0	0	0	0	0	0
Pinehurst - Old Barn Road	0	0	0	0	0	138,616	0	0	0	0	0	0	0	0	0
Pinehurst - Pine Hurst Drive	0	235,336	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Ridge Crest Court	0	0	0	0	0	3,420	0	0	0	0	0	0	0	0	0
Pinehurst - Ridge Crest Place	0	0	0	0	0	2,913	0	0	0	0	0	0	0	0	0
Pinehurst - Ridge Crest Road	0	0	0	0	0	0	0	45,663	0	0	0	0	0	0	0
Pinehurst - Ridge Point Place	0	0	0	0	0	0	0	6,122	0	0	0	0	0	0	0
Pinehurst - Ridgewood Court	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Ridgewood Place	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Rimrock Ct	0	0	0	0	0	0	0	3,420	0	0	0	0	0	0	0
Pinehurst - Rimrock Lane	0	0	0	0	0	0	0	22,293	0	0	0	0	0	0	0
Pinehurst - Rimrock Place	0	0	0	0	0	7,178	0	0	0	0	0	0	0	0	0
Pinehurst - Rimrock Road	0	0	0	0	0	0	0	34,042	0	0	0	0	0	0	0
Pinehurst - Rock Crest Ct	0	0	0	0	0	0	0	5,320	0	0	0	0	0	0	0
Pinehurst - Rock Ridge Court	0	0	0	0	0	0	0	9,014	0	0	0	0	0	0	0
Pinehurst - Rock Ridge Road	0	52,313	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - San Andrews Ct	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - Stonedge Court	0	0	0	0	0	0	0	10,788	0	0	0	0	0	0	0
Pinehurst - Twin Lake Court	0	0	0	0	0	6,756	0	0	0	0	0	0	0	0	0
Pinehurst - Twin Lake Drive	0	133,000	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst - conc. curb and gutter	2,100	0	0	0	0	0	0	0	0	0	2,100	0	0	0	0
Pinehurst - concrete sidewalk	6,987	0	0	0	0	6,987	0	0	0	0	6,987	0	0	0	0
Summerfield - North Steamboat Way	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Summerfield - South Steamboat Way	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0

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Summerfield - Illinois Ct.	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Summerfield - conc. curb and gutter	6,000	0	0	0	0	0	0	0	0	0	6,000	0	0	0	0
Summerfield - concrete sidewalk	9,367	0	0	0	0	9,367	0	0	0	0	9,367	0	0	0	0
West Winds - Club House Court	0	0	0	0	0	0	0	0	4,117	0	0	0	0	0	0
West Winds - Club House Way	0	0	0	0	0	0	0	0	5,067	0	0	0	0	0	0
West Winds - Eagle Court	0	0	0	0	0	0	0	0	4,750	0	0	0	0	0	0
West Winds - Eagle Trace Drive	0	0	0	0	0	0	0	0	52,778	0	0	0	0	0	0
Woodlands Preserve - Divot Court	0	0	0	38,912	0	0	0	0	0	0	0	0	0	0	0
Woodlands Preserve - Country Club Terrace	0	0	0	76,000	0	0	0	0	0	0	0	0	0	0	0
Woodlands Preserve - conc. curb and gutter	0	0	0	6,750	0	0	0	0	0	0	0	0	0	6,750	0
Woodridge - Burger Way	0	18,578	0	0	0	0	0	0	0	0	0	0	0	0	0
Woodridge - Cardozo Street	0	31,456	0	0	0	0	0	0	0	0	0	0	0	0	0
Woodridge - Woodcliff Court	0	0	0	0	0	0	0	35,467	0	0	0	0	0	0	0
Woodridge - Woodcrest Court	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Woodridge - Woodcrest Road	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Woodridge - Woodfield Court	0	0	0	0	0	0	0	19,211	0	0	0	0	0	0	0
Woodridge - Woodlake Place	0	0	0	0	0	0	0	14,989	0	0	0	0	0	0	0
Woodridge - Woodland Road	0	0	0	0	0	0	0	0	0	0	0	127,933	0	0	0
Woodridge - Woodridge Road	0	0	0	0	0	0	0	89,511	0	0	0	0	0	0	0
Woodridge - Woodrise Road	0	0	0	0	0	0	0	0	0	0	0	25,122	0	0	0
Eaglehead Drive	0	0	0	0	0	0	383,800	0	0	0	0	0	0	0	0
Eaglehead Drive	0	0	0	0	0	127,927	0	0	0	0	0	0	0	0	0
Eaglehead Drive - conc. curb and gutter	0	0	0	0	0	0	0	0	42,000	0	0	0	0	0	0
Coldstream beach parking lot	0	0	0	0	0	0	0	0	0	0	8,000	0	0	0	0
Coldstream pool parking lot	0	0	0	0	0	0	0	0	55,000	0	0	0	0	0	0
Coldstream pool - conc. curb and gutter	0	0	0	0	0	0	0	0	4,200	0	0	0	0	0	0
Coldstream pool - concrete sidewalk	2,797	0	0	0	0	2,797	0	0	0	0	2,797	0	0	0	0
McFadden playground parking lot	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Summerfield pool parking lot	0	0	0	0	0	0	0	0	0	0	22,000	0	0	0	0
Summerfield pool - conc. curb and gutter	0	0	0	0	0	0	0	0	0	2,100	0	0	0	0	0
Summerfield pool - concrete sidewalk	0	0	0	0	1,326	0	0	0	0	1,326	0	0	0	0	1,326
West Winds pool parking lot	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
West Winds pool - bituminous curbing	0	0	4,500	0	0	0	0	0	0	0	0	0	4,500	0	0
LANDSCAPING & APPURTENANCES	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Property signage - periodic replacements	20,000	0	0	0	0	20,000	0	0	0	0	20,000	0	0	0	0
Trees and perennials - periodic replacements	30,000	0	0	0	0	0	0	0	0	0	30,000	0	0	0	0
Retaining walls - Summerfield Pool - replace	0	0	0	0	0	0	0	0	0	0	0	0	12,000	0	0
Retaining wall - Pinchurst #1 - replace	0	0	0	0	0	0	0	0	0	0	18,000	0	0	0	0
Retaining wall - Pinchurst #2 - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Retaining wall - Pinchurst entrance - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Retaining walls - North Shore #1 - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Retaining walls - North Shore #2 - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	90,000
Retaining wall - Summerfield - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	30,000	0
Light Poles - West Winds - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Guard rails - Woodridge - replace	0	0	0	0	0	0	0	0	0	0	0	4,000	0	0	0
Cluster mail box units - Periodic Replacements	0	78,000	0	0	0	0	78,000	0	0	0	0	78,000	0	0	0
Building Exterior															
Coldstream wood shake roof - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream exterior wood - replace some	0	0	0	5,000	0	0	0	0	0	0	0	0	0	5,000	0
Coldstream exterior stucco & wood - paint	0	0	0	5,000	0	0	0	0	0	0	0	0	0	5,000	0
Coldstream wading pool building - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Cabanas wood shake roof - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Cabanas exterior wood siding - replace some	0	0	0	5,000	0	0	0	0	0	0	0	0	0	5,000	0
Cabanas exterior wood siding - paint (incl doors)	0	0	0	5,000	0	0	0	0	0	0	0	0	0	5,000	0
Cabanas exterior doors - replace hardware	3,000	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Summerfield asphalt shingle roof - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Summerfield doors & windows (louvered) - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
West Winds asphalt shingle roof - replace	0	0	0	0	0	0	0	4,875	0	0	0	0	0	0	0
West Winds wood siding - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
West Winds doors & louvers - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Barn metal roof surface - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Barn tent - replace	0	0	0	0	0	0	0	42,000	0	0	0	0	0	0	0

Annual Expenses 2033 - 2047

Year:	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047
Year Number:	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
Barn storage shed - replace	6,000	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Bus stops & misc. structures - Replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Building Interior															
Coldstream office areas - refurbish	0	0	0	0	0	0	0	0	0	0	0	70,000	0	0	0
Coldstream shower rooms - refurbish	0	0	0	30,000	0	0	0	0	0	0	0	0	0	0	0
Summerfield shower rooms - refurbish	24,000	0	0	0	0	0	0	0	0	0	0	0	0	0	0
West Winds shower rooms - refurbish	18,000	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Barn reception and restrooms - refurbish	25,000	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Barn kitchen equipment - replace	15,000	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Mechanical															
Coldspring 5 ton A/C - replace	10,000	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Coldspring propane water heaters - replace	5,000	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream electrical panels - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Cabanas lights & receptacles - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Summerfield elec. water heaters - replace	0	0	0	0	0	0	10,000	0	0	0	0	0	0	0	0
Summerfield electric panels - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
West Winds elec. water heaters - replace	0	5,000	0	0	0	0	0	0	0	0	0	0	0	0	0
West Winds elec. panels - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream Security Systems - Replace	0	0	25,000	0	0	0	0	0	0	0	0	0	25,000	0	0
Summerfield Security Systems - Replace	0	0	10,000	0	0	0	0	0	0	0	0	0	10,000	0	0
West Winds Security Systems - Replace	0	0	10,000	0	0	0	0	0	0	0	0	0	10,000	0	0
Amenities															
SWIMMING POOLS															
Coldstream pool shell - repair/replace	0	168,000	0	0	0	0	0	0	0	0	0	0	0	0	0
Summerfield pool shell - repair/replace	0	0	0	0	0	0	0	0	0	0	171,000	0	0	0	0
West Winds pool shell - repair/replace	0	0	0	0	0	0	0	0	0	0	126,000	0	0	0	0
Coldstream pool shell - white coat	0	0	0	0	67,200	0	0	0	0	0	0	67,200	0	0	0
Summerfield pool shell - white coat	0	0	0	0	0	68,400	0	0	0	0	0	0	68,400	0	0
West Winds pool shell - white coat	0	0	0	50,400	0	0	0	0	0	0	50,400	0	0	0	0
Coldstream coping & tile - replace	0	0	0	0	0	0	0	0	0	0	33,750	0	0	0	0
Summerfield coping & tile - replace	0	0	0	0	0	0	0	0	0	0	0	0	32,250	0	0
West Winds coping & tile - replace	0	0	0	0	0	0	0	21,750	0	0	0	0	0	0	0
Coldstream pool deck - periodic replace	0	0	0	0	16,950	0	0	0	0	16,950	0	0	0	0	16,950
Summerfield pool deck - periodic replace	0	0	0	0	13,500	0	0	0	0	13,500	0	0	0	0	13,500
West Winds wood deck replace surface replace	0	0	0	0	0	0	0	32,000	0	0	0	0	0	0	0
West Winds pool deck - periodic replace	0	0	0	0	7,350	0	0	0	0	7,350	0	0	0	0	7,350
West Winds deck structure - refurbish	0	0	0	0	0	0	0	20,000	0	0	0	0	0	0	0
West Winds wood deck rail - replace	0	0	0	0	0	0	0	5,700	0	0	0	0	0	0	0
West Winds gazebo - refurbish	0	0	0	0	0	0	0	0	0	0	0	0	0	5,000	0
Coldstream pool equipment - replace	0	0	0	0	0	0	0	0	0	20,000	0	0	0	0	0
Summerfield pool equipment - replace	0	0	0	15,000	0	0	0	0	0	0	0	0	0	15,000	0
West Winds pool equipment - replace	0	15,000	0	0	0	0	0	0	0	0	0	15,000	0	0	0
Large fixed umbrella, all pools - replace	0	0	0	8,000	0	0	0	0	0	0	0	0	0	8,000	0
Life guard stands, all pools - replace	0	0	0	0	0	0	0	24,000	0	0	0	0	0	0	0
Pool ladders, all pools - replace	0	0	0	0	0	0	0	19,200	0	0	0	0	0	0	0
Coldstream spiral slide	0	0	0	0	0	0	0	0	0	0	15,000	0	0	0	0
Summerfield diving board	0	0	0	0	0	0	0	0	0	5,000	0	0	0	0	0
Pool furniture, all pools - replace	0	0	0	0	0	0	50,000	0	0	0	0	0	0	0	50,000
Coldstream wood pergola - replace	0	0	0	0	0	0	0	0	0	0	0	0	26,400	0	0
Coldstream stone wall - periodic repairs	0	0	0	10,000	0	0	0	0	0	0	0	0	0	10,000	0
Coldstream exterior light poles - replace	0	0	0	0	0	0	0	25,600	0	0	0	0	0	0	0
Coldstream metal fence - replace	0	0	0	0	0	0	0	0	0	0	18,000	0	0	0	0
Summerfield metal fence - replace	0	0	0	0	0	0	0	0	0	0	22,000	0	0	0	0
West Winds metal fence - replace	0	0	0	0	0	0	0	0	0	0	11,000	0	0	0	0
SPORT COURTS															
Coldstream tennis courts - color coat	0	0	0	0	0	0	36,000	0	0	0	0	0	0	36,000	0
Coldstream tennis courts - resurface	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Summerfield tennis courts - color coat	12,000	0	0	0	0	0	0	12,000	0	0	0	0	0	0	12,000
Summerfield tennis courts - resurface	50,000	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream tennis court fence - replace	0	0	0	0	0	0	0	0	0	0	48,000	0	0	0	0
Summerfield tennis court fence - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream basketball court - resurface	0	0	0	0	0	0	0	0	0	0	0	11,400	0	0	0

Annual Expenses 2033 - 2047

Year:	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047
Year Number:	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
Summerfield basketball court - resurface	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pinehurst basketball court - resurface	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
McFadden basketball court - resurface	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Woodridge basketball court - resurface	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
West Winds basketball court - resurface	0	0	0	0	0	0	0	0	0	4,800	0	0	0	0	0
West Winds wood retaining wall - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	4,500
PLAYGROUNDS & PICNIC SITES															
Twin Lake tot lot equipment - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Twin Lake tot lot fence - replace	0	0	0	0	6,000	0	0	0	0	0	0	0	0	0	0
Edgewood tot lot equipment - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Beach Drive tot lot equipment - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
High Beach Court tot lot equipment - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
S Steamboat Way tot lot equipment - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
N Steamboat Way tot lot equipment - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pond Fountain tot lot equipment - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	35,000	0
McFadden tot lot equipment - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Woodridge tot lot equipment - replace	35,000	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Sawyer Road tot lot equipment - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
North Shore tot lot equipment - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Coldstream tot lot equipment - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Woodland Preserve tot lot equipment - replace	0	0	0	0	25,000	0	0	0	0	0	0	0	0	0	0
Sawyer Rd tot lot gazebo - replace	0	0	0	0	0	0	0	3,000	0	0	0	0	0	0	0
Pinehurst picnic pavilion - refurbish	0	0	0	6,000	0	0	0	0	0	0	0	0	0	0	0
Woodridge picnic pavilion - refurbish	0	0	6,000	0	0	0	0	0	0	0	0	0	0	0	0
BEACHES & DOG PARK															
Beach boat racks (all) - periodic replacements	0	0	0	5,000	0	0	0	0	5,000	0	0	0	0	5,000	0
Coldstream Beach timber retaining wall - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Dog park metal fence - replace	0	0	0	0	0	0	0	0	0	0	0	0	0	0	38,500
Dog park water fountains - replace	0	0	0	0	5,000	0	0	0	0	0	0	0	0	0	0
TRAILS, BRIDGES & ESPLANADE															
Asphalt paved trails - resurface 1/3	0	31,500	0	0	0	0	0	0	0	0	0	0	0	0	0
Asphalt paved trails - resurface 1/3	0	0	0	0	0	0	31,500	0	0	0	0	0	0	0	0
Asphalt paved trails - resurface 1/3	0	0	0	0	0	0	0	0	0	0	0	31,500	0	0	0
Crushed stone trails - resurface 1/3	0	5,250	0	0	5,250	0	0	5,250	0	0	5,250	0	0	5,250	0
Crushed stone trails - resurface 1/3	0	0	5,250	0	0	5,250	0	0	5,250	0	0	5,250	0	0	5,250
Crushed stone trails - resurface 1/3	5,250	0	0	5,250	0	0	5,250	0	0	5,250	0	0	5,250	0	0
Wood bridges & stairs - periodic replace	0	0	5,000	0	0	5,000	0	0	5,000	0	0	5,000	0	0	5,000
Ben's Branch Bridge - replace wood deck	0	0	0	0	0	0	0	0	0	0	0	7,000	0	0	0
Ben's Branch Bridge - scrape/paint steel	0	0	0	0	0	0	75,000	0	0	0	0	0	0	0	0
Esplanade wood bridge - replace	0	0	0	0	0	15,000	0	0	0	0	0	0	0	0	0
Esplanade concrete deck - surface repairs	0	22,000	0	0	0	0	22,000	0	0	0	0	22,000	0	0	0
Esplanade girder and pier - repairs	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Esplanade - safety railings - provide	0	0	0	0	0	200,000	0	0	0	0	0	0	0	0	0
Other															
PONDS, LAKES AND DAMS															
Lake Linganore Spillway	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Lake Linganore Dam	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Lake Linganore Fountains	0	0	0	0	0	0	0	0	0	0	0	25,000	0	0	0
Lake Marion Dam	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Lake Marion Outlet Riser	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Lake Marion Outlet Barrel	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Lake Marion Sheetpile/Stone Wall	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Lake Merle Dam	0	0	0	0	0	0	0	0	0	0	0	0	0	0	500,000
Lake Merle Dam Repairs	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Lake Merle Outlet Riser	0	0	0	0	0	0	0	0	0	0	0	0	0	0	80,000
Lake Merle Outlet Barrel	0	0	0	0	0	0	0	0	0	0	0	0	0	0	125,000
Lake Anita Louise Dam	0	0	0	0	0	0	0	0	0	0	200,000	0	0	0	0
Lake Anita Louise Outlet Riser	0	0	0	0	0	0	0	0	0	0	60,000	0	0	0	0
Lake Anita Louise Outlet Barrel	0	0	0	0	0	0	0	0	0	0	100,000	0	0	0	0
Pinehurst Pond Dam	0	0	0	0	0	0	0	0	0	0	150,000	0	0	0	0
Pinehurst Pond Outlet Riser	0	0	0	0	0	0	0	0	0	0	50,000	0	0	0	0
Pinehurst Pond Outlet Barrel	0	0	0	0	0	0	0	0	0	0	75,000	0	0	0	0

Annual Expenses 2033 - 2047

	Year:	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047
	Year Number:	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
Dredging of all 4 Lakes & 1 Pond		0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Ongoing Periodic Dredging		0	0	500,000	0	0	0	0	500,000	0	0	0	0	500,000	0	0
VEHICLES																
2017 Ford Focus		0	0	0	20,000	0	0	0	0	0	0	0	0	0	20,000	0
2017 Ford F250		0	0	0	35,000	0	0	0	0	0	0	0	0	0	35,000	0
2005 Hyundai Sante Fe		0	0	0	0	0	0	25,000	0	0	0	0	0	0	0	0
2014 Toyota Rav 4		0	0	30,000	0	0	0	0	0	0	0	0	0	30,000	0	0
2013 Toyota Tacoma		0	30,000	0	0	0	0	0	0	0	0	0	30,000	0	0	0
Kubota L3130		0	0	0	0	0	30,000	0	0	0	0	0	0	0	0	0
Total Costs		390,874	927,108	790,916	559,269	188,576	1,155,342	1,114,913	2,017,128	1,071,265	153,276	1,382,489	639,217	661,240	384,881	984,376
Total Costs Adjusted For 2.5% Inflation		566,102	1,376,297	1,203,472	872,269	301,467	1,893,162	1,872,588	3,472,629	1,890,366	277,234	2,563,058	1,214,699	1,287,963	768,412	2,014,434

Current Funding Plan

Organization: **Lake Linganore Association, Inc.**
Address: **6718 Coldstream Drive
New Market, MD 21774**

Number of Units	1
Age of Building (in years)	48
Study Period (in years)	30
Normal Fiscal Year starts:	March 1, 2018
Partial Fiscal Year starts:	March 1, 2018
Partial Year Length:	12 months
Site Inspection Date	August 1, 2017
Reserve Funds at start	\$2,311,133
Rate of Return on invested Reserve Funds (%)	0.00%
Inflation Rate (%)	2.50%
Initial Minimum Threshold	\$0
Annual Maintenance Budget	\$0
Annual Maintenance Escalation Rate	0.00%
Target Funding Percentage	0%

	Total/Month	Total Annual	Per Unit/Month	Per Unit/Year	Special Assessments		
					Years Out	Total/Year	Per Unit
Res. Fund Contrib. (First Year).....	\$95,833	\$1,150,000	\$95,833.33	\$1,149,999.96			
Res. Fund Contrib. (Remaining Years).....	\$95,833	\$1,150,000	\$95,833.33	\$1,149,999.96			
Final Balance Computed.....	(\$2,755,069)						
Average Capital Expenditure per year.....	\$1,318,873						

Fiscal Years:	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	
Normal: Mar 2018																
Partial: Mar 2018 (12 months)	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	
Beginning Reserve Fund Balance:	\$2,311,133	\$2,382,979	\$2,436,851	\$1,649,943	\$1,179,680	\$1,593,187	\$1,897,494	\$1,930,743	\$1,534,063		\$1,833,625	\$2,421,167	\$2,691,387	\$2,747,828	\$1,406,235	\$1,630,109
Revenue:	\$1,150,000	\$1,150,000	\$1,150,000	\$1,150,000	\$1,150,000	\$1,150,000	\$1,150,000	\$1,150,000	\$1,150,000		\$1,150,000	\$1,150,000	\$1,150,000	\$1,150,000	\$1,150,000	\$1,150,000
Special Assessments:	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0		\$0	\$0	\$0	\$0	\$0	\$0
Investment Earnings:	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0		\$0	\$0	\$0	\$0	\$0	\$0
Capital Expenditures:	\$1,078,154	\$1,096,128	\$1,936,909	\$1,620,263	\$736,493	\$845,693	\$1,116,751	\$1,546,680	\$850,439		\$562,458	\$879,780	\$1,093,559	\$2,491,593	\$926,126	\$1,211,026
Ending Reserve Balance:	\$2,382,979	\$2,436,851	\$1,649,943	\$1,179,680	\$1,593,187	\$1,897,494	\$1,930,743	\$1,534,063	\$1,833,625		\$2,421,167	\$2,691,387	\$2,747,828	\$1,406,235	\$1,630,109	\$1,569,083
Special Assessment Cost per Unit:	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0		\$0	\$0	\$0	\$0	\$0	\$0

Fiscal Years:	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	
Normal: Mar 2018																
Partial: Mar 2018 (12 months)	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	
Beginning Reserve Fund Balance:	\$1,569,083	\$2,152,981	\$1,926,685	\$1,873,213	\$2,150,944	\$2,999,477	\$2,256,315	\$1,533,727	(\$788,902)		(\$1,529,268)	(\$656,502)	(\$2,069,560)	(\$2,134,259)	(\$2,272,222)	(\$1,890,634)
Revenue:	\$1,150,000	\$1,150,000	\$1,150,000	\$1,150,000	\$1,150,000	\$1,150,000	\$1,150,000	\$1,150,000	\$1,150,000		\$1,150,000	\$1,150,000	\$1,150,000	\$1,150,000	\$1,150,000	\$1,150,000
Special Assessments:	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0		\$0	\$0	\$0	\$0	\$0	\$0
Investment Earnings:	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0		\$0	\$0	\$0	\$0	\$0	\$0
Capital Expenditures:	\$566,102	\$1,376,297	\$1,203,472	\$872,269	\$301,467	\$1,893,162	\$1,872,588	\$3,472,629	\$1,890,366		\$277,234	\$2,563,058	\$1,214,699	\$1,287,963	\$768,412	\$2,014,434
Ending Reserve Balance:	\$2,152,981	\$1,926,685	\$1,873,213	\$2,150,944	\$2,999,477	\$2,256,315	\$1,533,727	(\$788,902)	(\$1,529,268)		(\$656,502)	(\$2,069,560)	(\$2,134,259)	(\$2,272,222)	(\$1,890,634)	(\$2,755,069)
Special Assessment Cost per Unit:	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0		\$0	\$0	\$0	\$0	\$0	\$0

Current Funding Data

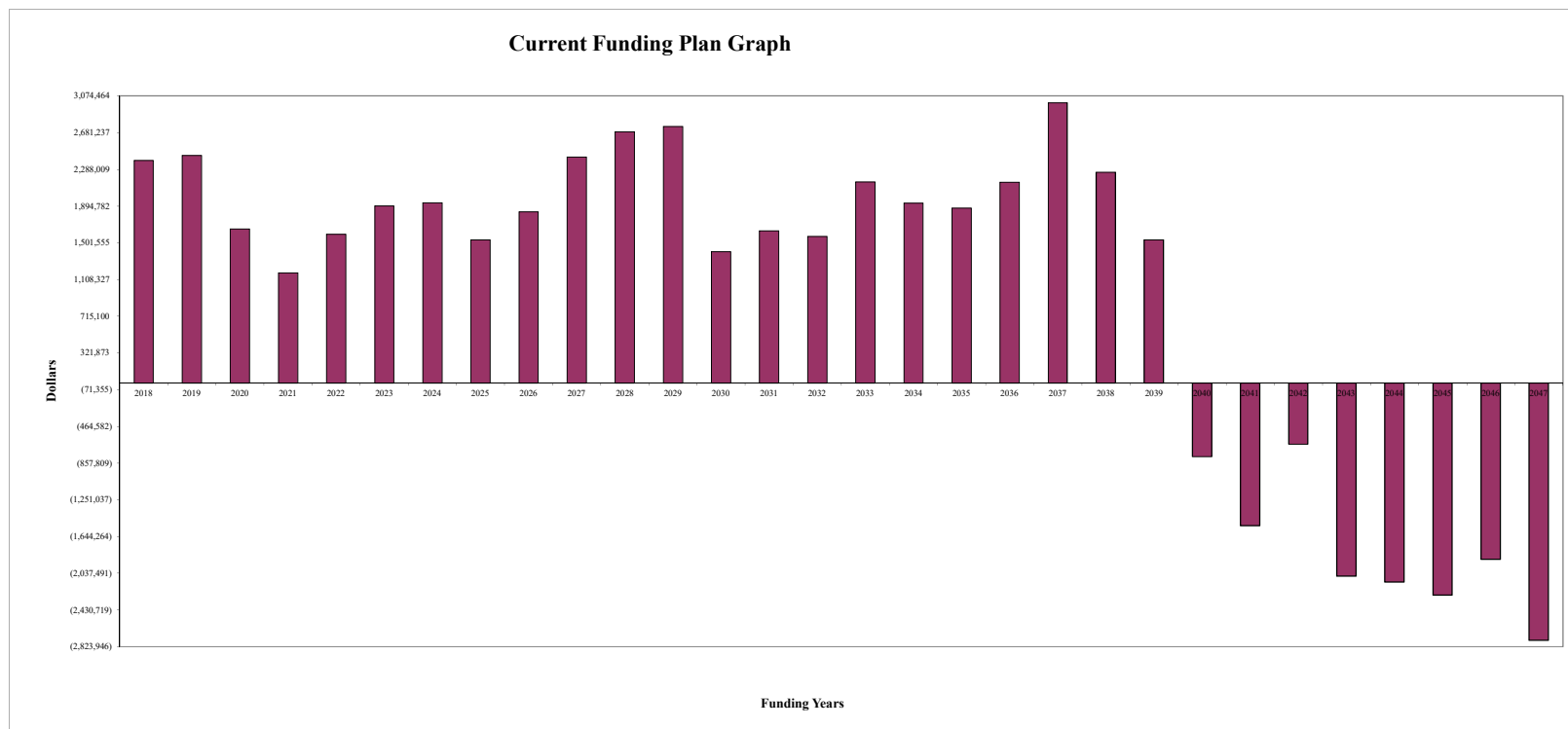
Year	Year Number	Beginning Reserve Fund Balance	Fee Revenue	Special Assessments	Investment Earnings	Total Revenue	Capital Expenditures	Ending Balance	Minimum Threshold Balance
2018	1	\$2,311,133	\$1,150,000	\$0	\$0	\$1,150,000	\$1,078,154	\$2,382,979	\$0
2019	2	\$2,382,979	\$1,150,000	\$0	\$0	\$1,150,000	\$1,096,128	\$2,436,851	\$0
2020	3	\$2,436,851	\$1,150,000	\$0	\$0	\$1,150,000	\$1,936,909	\$1,649,943	\$0
2021	4	\$1,649,943	\$1,150,000	\$0	\$0	\$1,150,000	\$1,620,263	\$1,179,680	\$0
2022	5	\$1,179,680	\$1,150,000	\$0	\$0	\$1,150,000	\$736,493	\$1,593,187	\$0
2023	6	\$1,593,187	\$1,150,000	\$0	\$0	\$1,150,000	\$845,693	\$1,897,494	\$0
2024	7	\$1,897,494	\$1,150,000	\$0	\$0	\$1,150,000	\$1,116,751	\$1,930,743	\$0
2025	8	\$1,930,743	\$1,150,000	\$0	\$0	\$1,150,000	\$1,546,680	\$1,534,063	\$0
2026	9	\$1,534,063	\$1,150,000	\$0	\$0	\$1,150,000	\$850,439	\$1,833,625	\$0
2027	10	\$1,833,625	\$1,150,000	\$0	\$0	\$1,150,000	\$562,458	\$2,421,167	\$0
2028	11	\$2,421,167	\$1,150,000	\$0	\$0	\$1,150,000	\$879,780	\$2,691,387	\$0
2029	12	\$2,691,387	\$1,150,000	\$0	\$0	\$1,150,000	\$1,093,559	\$2,747,828	\$0
2030	13	\$2,747,828	\$1,150,000	\$0	\$0	\$1,150,000	\$2,491,593	\$1,406,235	\$0
2031	14	\$1,406,235	\$1,150,000	\$0	\$0	\$1,150,000	\$926,126	\$1,630,109	\$0
2032	15	\$1,630,109	\$1,150,000	\$0	\$0	\$1,150,000	\$1,211,026	\$1,569,083	\$0
2033	16	\$1,569,083	\$1,150,000	\$0	\$0	\$1,150,000	\$566,102	\$2,152,981	\$0
2034	17	\$2,152,981	\$1,150,000	\$0	\$0	\$1,150,000	\$1,376,297	\$1,926,685	\$0
2035	18	\$1,926,685	\$1,150,000	\$0	\$0	\$1,150,000	\$1,203,472	\$1,873,213	\$0
2036	19	\$1,873,213	\$1,150,000	\$0	\$0	\$1,150,000	\$872,269	\$2,150,944	\$0
2037	20	\$2,150,944	\$1,150,000	\$0	\$0	\$1,150,000	\$301,467	\$2,999,477	\$0
2038	21	\$2,999,477	\$1,150,000	\$0	\$0	\$1,150,000	\$1,893,162	\$2,256,315	\$0
2039	22	\$2,256,315	\$1,150,000	\$0	\$0	\$1,150,000	\$1,872,588	\$1,533,727	\$0
2040	23	\$1,533,727	\$1,150,000	\$0	\$0	\$1,150,000	\$3,472,629	(\$788,902)	\$0
2041	24	(\$788,902)	\$1,150,000	\$0	\$0	\$1,150,000	\$1,890,366	(\$1,529,268)	\$0
2042	25	(\$1,529,268)	\$1,150,000	\$0	\$0	\$1,150,000	\$277,234	(\$656,502)	\$0
2043	26	(\$656,502)	\$1,150,000	\$0	\$0	\$1,150,000	\$2,563,058	(\$2,069,560)	\$0
2044	27	(\$2,069,560)	\$1,150,000	\$0	\$0	\$1,150,000	\$1,214,699	(\$2,134,259)	\$0
2045	28	(\$2,134,259)	\$1,150,000	\$0	\$0	\$1,150,000	\$1,287,963	(\$2,272,222)	\$0
2046	29	(\$2,272,222)	\$1,150,000	\$0	\$0	\$1,150,000	\$768,412	(\$1,890,634)	\$0
2047	30	(\$1,890,634)	\$1,150,000	\$0	\$0	\$1,150,000	\$2,014,434	(\$2,755,069)	\$0

Current Funding Plan Graph

CONTRIBUTIONS		
FIRST YR	REM YRS	
\$1,149,999.96	\$1,149,999.96	per year
\$1,149,999.96	\$1,149,999.96	per unit per year
\$95,833.33	\$95,833.33	per month
\$95,833.33	\$95,833.33	per unit per month
	Threshold:	\$0.00

Projected Annual Funding and Expenditures:

Year:	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032
Year Number:	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
End of Year Reserve Fund Balance	2,382,979	2,436,851	1,649,943	1,179,680	1,593,187	1,897,494	1,930,743	1,534,063	1,833,625	2,421,167	2,691,387	2,747,828	1,406,235	1,630,109	1,569,083
Capital Expenditures:	1,078,154	1,096,128	1,936,909	1,620,263	736,493	845,693	1,116,751	1,546,680	850,439	562,458	879,780	1,093,559	2,491,593	926,126	1,211,026
Special Assessment	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Total Revenue (all sources)	1,150,000	1,150,000	1,150,000	1,150,000	1,150,000	1,150,000	1,150,000	1,150,000	1,150,000	1,150,000	1,150,000	1,150,000	1,150,000	1,150,000	1,150,000
Target Funding Requirement	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Year:	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047
Year Number:	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
End of Year Reserve Fund Balance	2,152,981	1,926,685	1,873,213	2,150,944	2,999,477	2,256,315	1,533,727	(788,902)	(1,529,268)	(656,502)	(2,069,560)	(2,134,259)	(2,272,222)	(1,890,634)	(2,755,069)
Capital Expenditures:	566,102	1,376,297	1,203,472	872,269	301,467	1,893,162	1,872,588	3,472,629	1,890,366	277,234	2,563,058	1,214,699	1,287,963	768,412	2,014,434
Special Assessment	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Total Revenue (all sources)	1,150,000	1,150,000	1,150,000	1,150,000	1,150,000	1,150,000	1,150,000	1,150,000	1,150,000	1,150,000	1,150,000	1,150,000	1,150,000	1,150,000	1,150,000
Target Funding Requirement	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-



Alternate Funding Plan No. 1 - Increase Reserve Fund Contribution by 1% Every Yer



General Information:

Organization: **Lake Linganore Association, Inc.**
 Address: **6718 Coldstream Drive
 New Market, MD 21774**

Number of Units	1
Age of Building (in years)	48
Study Period (in years)	30
Normal Fiscal Year starts:	March 1, 2018
Partial Fiscal Year starts:	March 1, 2018
Partial Year Length:	12 months
Site Inspection Date	August 1, 2017
Reserve Funds at start	\$2,311,133
Rate of Return on invested Reserve Funds (%)	0.00%
Inflation Rate (%)	2.50%
Yearly Threshold	\$0
Annual Maintenance Budget	\$0
Annual Maintenance Escalation Rate	0.00%
Target Funding Percentage	0%

CURRENT FUNDING	Total/Month	Total Annual	Per Unit/Month	Per Unit/Year	Special Assessments		
					Years Out	Total/Year	Per Unit
Res. Fund Contrib. (First Year).....	\$95,833	\$1,150,000	\$95,833.33	\$1,149,999.96			
Res. Fund Contrib. (Remaining Years).....	\$95,833	\$1,150,000	\$95,833.33	\$1,149,999.96			
Final Balance Computed.....	(\$2,755,069)						
Average Capital Expenditure.....	\$1,318,873						

ALTERNATIVE 1	Total/Month	Total Annual	Per Unit/Month	Per Unit/Year	Special Assessments		
					Years Out	Total/Year	Per Unit
Monthly Amount, (First Year).....	\$95,833	\$1,150,000	\$95,833.33	\$1,150,000.00			
Monthly Amount, (Last Year).....	\$127,890	\$1,534,679	\$127,889.95	\$1,534,679.46			
Balance Required Final Year.....	\$1,318,873						
Base Escalation %.....	1.00%						
Final Balance Computed.....	\$2,747,558						
Average Capital Expenditure.....	\$1,318,873						

Fiscal Years:	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032
Normal: Mar 2018															
Partial: Mar 2018 (12 months)	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Beginning Reserve Fund Balance:	\$2,311,133	\$2,382,979	\$2,448,351	\$1,684,558	\$1,249,141	\$1,709,343	\$2,072,311	\$2,176,309	\$1,862,585	\$2,257,432	\$2,952,712	\$3,343,247	\$3,532,707	\$2,336,963	\$2,719,644
Revenue:	\$1,150,000	\$1,161,500	\$1,173,115	\$1,184,846	\$1,196,695	\$1,208,662	\$1,220,748	\$1,232,956	\$1,245,285	\$1,257,738	\$1,270,315	\$1,283,019	\$1,295,849	\$1,308,807	\$1,321,895
Special Assessments:	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Investment Earnings:	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Capital Expenditures:	\$1,078,154	\$1,096,128	\$1,936,909	\$1,620,263	\$736,493	\$845,693	\$1,116,751	\$1,546,680	\$850,439	\$562,458	\$879,780	\$1,093,559	\$2,491,593	\$926,126	\$1,211,026
Ending Reserve Balance:	\$2,382,979	\$2,448,351	\$1,684,558	\$1,249,141	\$1,709,343	\$2,072,311	\$2,176,309	\$1,862,585	\$2,257,432	\$2,952,712	\$3,343,247	\$3,532,707	\$2,336,963	\$2,719,644	\$2,830,514
Special Assessment Cost per Unit:	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

Fiscal Years:	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047
Normal: Mar 2018															
Partial: Mar 2018 (12 months)	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
Beginning Reserve Fund Balance:	\$2,830,514	\$3,599,526	\$3,571,695	\$3,730,174	\$4,233,474	\$5,321,332	\$4,831,389	\$4,376,052	\$2,334,846	\$1,890,218	\$3,073,178	\$1,984,917	\$2,259,763	\$2,476,240	\$3,227,313
Revenue:	\$1,335,114	\$1,348,465	\$1,361,950	\$1,375,570	\$1,389,325	\$1,403,219	\$1,417,251	\$1,431,423	\$1,445,737	\$1,460,195	\$1,474,797	\$1,489,545	\$1,504,440	\$1,519,485	\$1,534,679
Special Assessments:	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Investment Earnings:	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Capital Expenditures:	\$566,102	\$1,376,297	\$1,203,472	\$872,269	\$301,467	\$1,893,162	\$1,872,588	\$3,472,629	\$1,890,366	\$277,234	\$2,563,058	\$1,214,699	\$1,287,963	\$768,412	\$2,014,434
Ending Reserve Balance:	\$3,599,526	\$3,571,695	\$3,730,174	\$4,233,474	\$5,321,332	\$4,831,389	\$4,376,052	\$2,334,846	\$1,890,218	\$3,073,178	\$1,984,917	\$2,259,763	\$2,476,240	\$3,227,313	\$2,747,558
Special Assessment Cost per Unit:	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

Alternate Funding Plan No. 1 - Data



Year	Year Number	Beginning Reserve Fund Balance	Fee Revenue	Special Assessments	Investment Earnings	Total Revenue	Capital Expenditures	Ending Balance	Minimum Threshold Balance
2018	1	\$2,311,133	\$1,150,000	\$0	\$0	\$1,150,000	\$1,078,154	\$2,382,979	\$0
2019	2	\$2,382,979	\$1,161,500	\$0	\$0	\$1,161,500	\$1,096,128	\$2,448,351	\$0
2020	3	\$2,448,351	\$1,173,115	\$0	\$0	\$1,173,115	\$1,936,909	\$1,684,558	\$0
2021	4	\$1,684,558	\$1,184,846	\$0	\$0	\$1,184,846	\$1,620,263	\$1,249,141	\$0
2022	5	\$1,249,141	\$1,196,695	\$0	\$0	\$1,196,695	\$736,493	\$1,709,343	\$0
2023	6	\$1,709,343	\$1,208,662	\$0	\$0	\$1,208,662	\$845,693	\$2,072,311	\$0
2024	7	\$2,072,311	\$1,220,748	\$0	\$0	\$1,220,748	\$1,116,751	\$2,176,309	\$0
2025	8	\$2,176,309	\$1,232,956	\$0	\$0	\$1,232,956	\$1,546,680	\$1,862,585	\$0
2026	9	\$1,862,585	\$1,245,285	\$0	\$0	\$1,245,285	\$850,439	\$2,257,432	\$0
2027	10	\$2,257,432	\$1,257,738	\$0	\$0	\$1,257,738	\$562,458	\$2,952,712	\$0
2028	11	\$2,952,712	\$1,270,315	\$0	\$0	\$1,270,315	\$879,780	\$3,343,247	\$0
2029	12	\$3,343,247	\$1,283,019	\$0	\$0	\$1,283,019	\$1,093,559	\$3,532,707	\$0
2030	13	\$3,532,707	\$1,295,849	\$0	\$0	\$1,295,849	\$2,491,593	\$2,336,963	\$0
2031	14	\$2,336,963	\$1,308,807	\$0	\$0	\$1,308,807	\$926,126	\$2,719,644	\$0
2032	15	\$2,719,644	\$1,321,895	\$0	\$0	\$1,321,895	\$1,211,026	\$2,830,514	\$0
2033	16	\$2,830,514	\$1,335,114	\$0	\$0	\$1,335,114	\$566,102	\$3,599,526	\$0
2034	17	\$3,599,526	\$1,348,465	\$0	\$0	\$1,348,465	\$1,376,297	\$3,571,695	\$0
2035	18	\$3,571,695	\$1,361,950	\$0	\$0	\$1,361,950	\$1,203,472	\$3,730,174	\$0
2036	19	\$3,730,174	\$1,375,570	\$0	\$0	\$1,375,570	\$872,269	\$4,233,474	\$0
2037	20	\$4,233,474	\$1,389,325	\$0	\$0	\$1,389,325	\$301,467	\$5,321,332	\$0
2038	21	\$5,321,332	\$1,403,219	\$0	\$0	\$1,403,219	\$1,893,162	\$4,831,389	\$0
2039	22	\$4,831,389	\$1,417,251	\$0	\$0	\$1,417,251	\$1,872,588	\$4,376,052	\$0
2040	23	\$4,376,052	\$1,431,423	\$0	\$0	\$1,431,423	\$3,472,629	\$2,334,846	\$0
2041	24	\$2,334,846	\$1,445,737	\$0	\$0	\$1,445,737	\$1,890,366	\$1,890,218	\$0
2042	25	\$1,890,218	\$1,460,195	\$0	\$0	\$1,460,195	\$277,234	\$3,073,178	\$0
2043	26	\$3,073,178	\$1,474,797	\$0	\$0	\$1,474,797	\$2,563,058	\$1,984,917	\$0
2044	27	\$1,984,917	\$1,489,545	\$0	\$0	\$1,489,545	\$1,214,699	\$2,259,763	\$0
2045	28	\$2,259,763	\$1,504,440	\$0	\$0	\$1,504,440	\$1,287,963	\$2,476,240	\$0
2046	29	\$2,476,240	\$1,519,485	\$0	\$0	\$1,519,485	\$768,412	\$3,227,313	\$0
2047	30	\$3,227,313	\$1,534,679	\$0	\$0	\$1,534,679	\$2,014,434	\$2,747,558	\$0

Alternate Funding Plan No. 1 - Increase Reserve Fund Contribution by 1% Every Yer

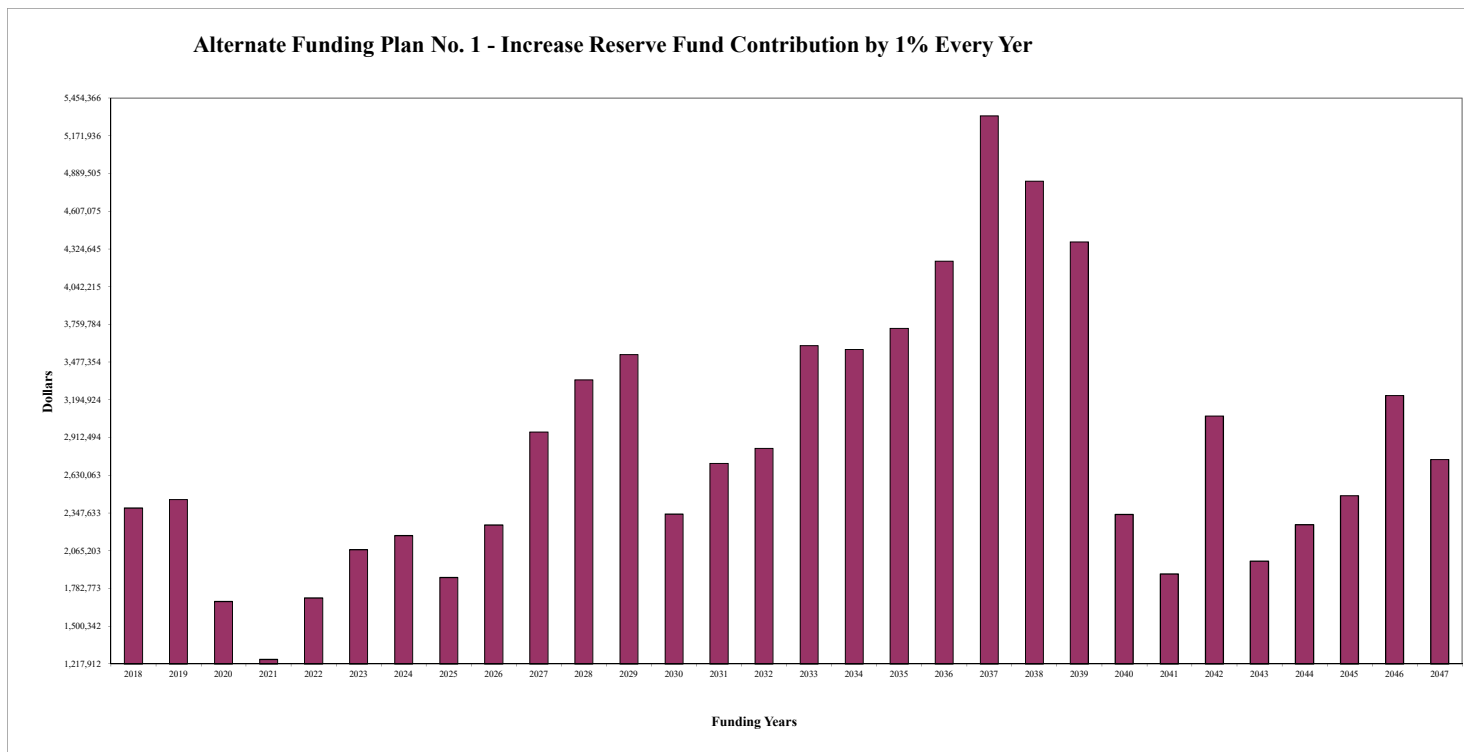
CONTRIBUTIONS		
FIRST YR	LAST YR	
\$1,150,000	\$1,534,679	per year
\$1,150,000	\$1,534,679	per unit per year
\$95,833	\$127,890	per month
\$95,833	\$127,890	per unit per month

SETTINGS (analyzed by unit/year)	
Starting amount (\$):	\$1,150,000
Increment by (%):	1
Step (%):	0
Every	1 year
Frequency:	30 time
Threshold:	\$0.00

Projected Annual Funding and Expenditures:

Year:	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032
Year Number:	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
End of Year Reserve Fund Balance	2,382,979	2,448,351	1,684,558	1,249,141	1,709,343	2,072,311	2,176,309	1,862,585	2,257,432	2,952,712	3,343,247	3,532,707	2,336,963	2,719,644	2,830,514
Capital Expenditures:	1,078,154	1,096,128	1,936,909	1,620,263	736,493	845,693	1,116,751	1,546,680	850,439	562,458	879,780	1,093,559	2,491,593	926,126	1,211,026
Special Assessment	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Total Revenue (all sources)	1,150,000	1,161,500	1,173,115	1,184,846	1,196,695	1,208,662	1,220,748	1,232,956	1,245,285	1,257,738	1,270,315	1,283,019	1,295,849	1,308,807	1,321,895
Target Funding Requirement	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-

Year:	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047
Year Number:	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
End of Year Reserve Fund Balance	3,599,526	3,571,695	3,730,174	4,233,474	5,321,332	4,831,389	4,376,052	2,334,846	1,890,218	3,073,178	1,984,917	2,259,763	2,476,240	3,227,313	2,747,558
Capital Expenditures:	566,102	1,376,297	1,203,472	872,269	301,467	1,893,162	1,872,588	3,472,629	1,890,366	277,234	2,563,058	1,214,699	1,287,963	768,412	2,014,434
Special Assessment	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Total Revenue (all sources)	1,335,114	1,348,465	1,361,950	1,375,570	1,389,325	1,403,219	1,417,251	1,431,423	1,445,737	1,460,195	1,474,797	1,489,545	1,504,440	1,519,485	1,534,679
Target Funding Requirement	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-



Appendix B: Project Photographs

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Typical wood sign and timber retaining wall located at the entrance to Pinehurst village

Photo Number

1



Description:

Typical wood sign and masonry retaining wall located at the entrance to Audubon Terrace village

Photo Number

2

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Audubon Terrace townhomes under construction

Photo Number

3



Description:

Audubon Condominiums asphalt roadways

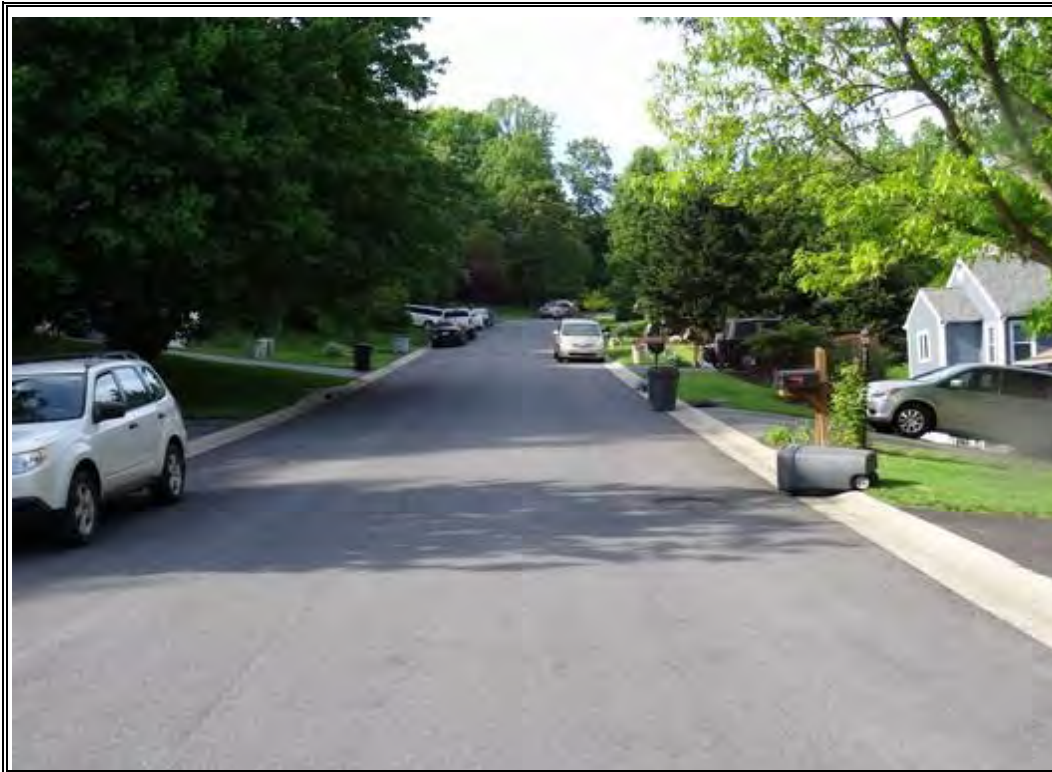
Photo Number

4

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Audubon North
roadways along
single-family
homes

Photo Number

5



Description:

New roadways in
Aspen North
village under
construction

Photo Number

6

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Aspen North:
Drainage culvert
under asphalt
driveway of home

Photo Number

7



Description:

Woodridge village
roadways

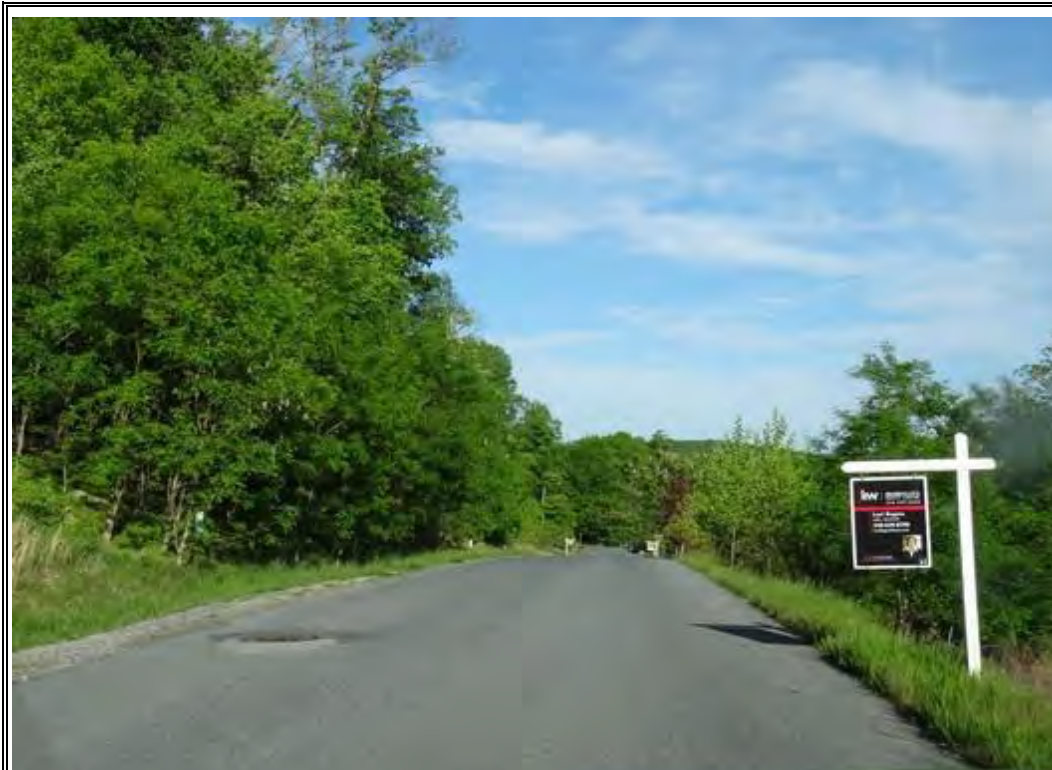
Photo Number

8

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Aspen village
roadways

Photo Number

9



Description:

North Shore
village roadways

Photo Number

10

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Coldstream village
roadways

Photo Number

11



Description:

New roadways in
Woodlands
Preserve

Photo Number

12

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:
New roadways
along Woodlands
Preserve
Townhomes

Photo Number
13



Description:
Balmoral village
roadways

Photo Number
14

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Nightingale village
roadways

Photo Number

15



Description:

Pinehurst village
roadways

Photo Number

16

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Storm drain along
Woodridge road

Photo Number

17



Description:

Summerfield
village pool
parking lot

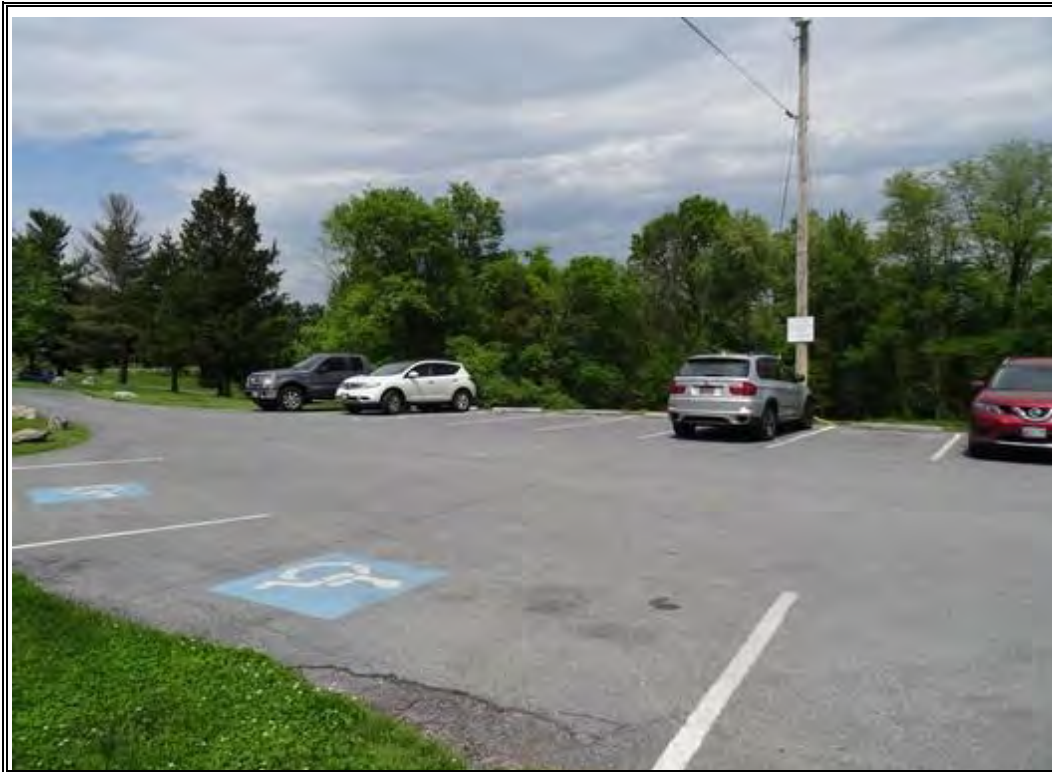
Photo Number

18

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:
Lake Linganore
Association office
parking lot

Photo Number
19



Description:
West Winds
village pool
parking lot

Photo Number
20

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

New storm water manhole was installed on south side of Eaglehead drive as part of recent sinkhole repairs

Photo Number
21



Description:

New storm drain catch basin in Pinehurst village

Photo Number
22

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Typical view of storm drain catch basin in Woodridge village

Photo Number

23



Description:

Several storm water infiltration basins were recently installed in Pinehurst village as required by the township

Photo Number

24

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Storm water basin
in West Winds
village

Photo Number

25



Description:

Concrete
pavement located
behind the
Coldstream
building

Photo Number

26

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Timber log retaining wall in Summerfield village located on south side of Huckleberry Way:

Evidence of deterioration was noted

Photo Number

27



Description:

Timber log retaining wall in Summerfield village located on south side of Huckleberry Way:

Close-up view of splitting cracks in wood logs

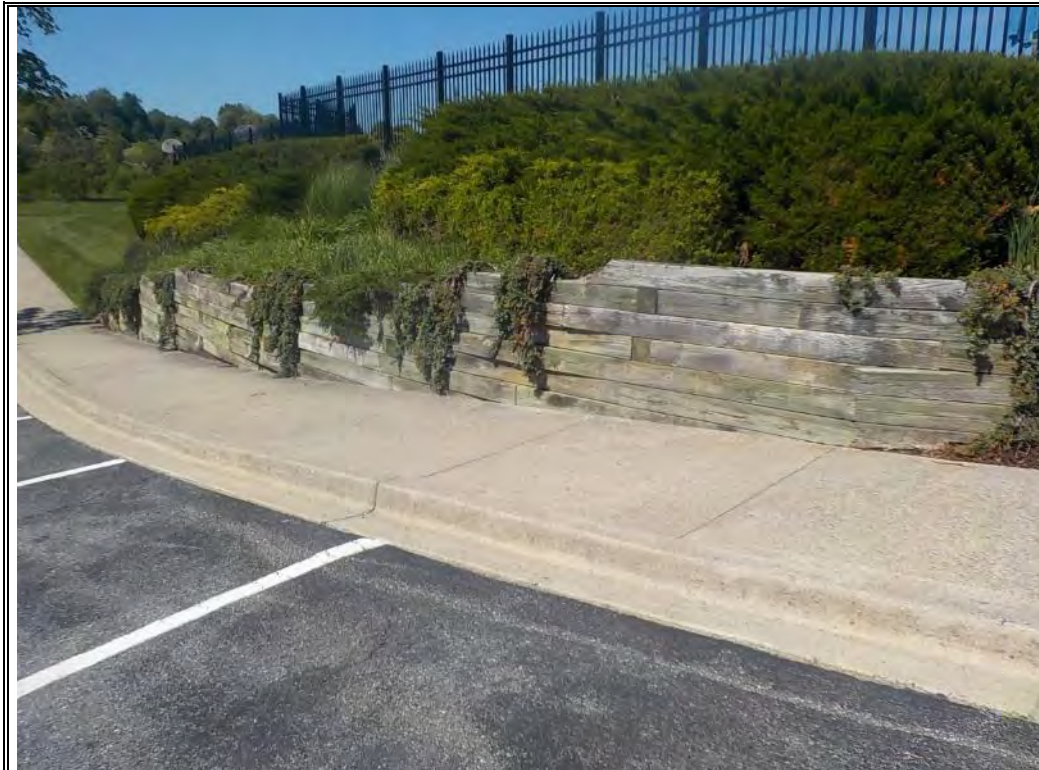
Photo Number

28

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Wood timber retaining walls located at the Summerfield swimming pool parking lot

Photo Number

29



Description:

Wood timber retaining wall and portable toilets located at the Coldstream beach

Photo Number

30

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Typical street light fixture in West Winds village

Photo Number

31



Description:

Light fixture in West Winds village pool parking lot

Photo Number

32

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Typical cluster mailbox units which are provided for several of the villages

Photo Number

33



Description:

The mailbox units vary in condition and are replaced on an as needed basis.

Photo Number

34

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Side elevation and main management offices entrance of the Coldstream pool building

Photo Number

35



Description:

Rear elevation of the Coldstream building

Photo Number

36

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Front elevation of the Coldstream building

Photo Number

37



Description:

Small building for enclosure of the Coldstream wading pool equipment

Photo Number

38

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Front elevation of the Cabanas building which wraps around the Coldstream pool

Individual cabana rooms can be rented on a seasonal basis to community residents

Photo Number

39



Description:

Rear elevation of the Cabanas building

Photo Number

40

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

The Cooldstream building has a wood shake roof surface which is at the end of its useful life.

Photo Number

41



Description:

The Cabanas building also has a wood shake surface which is in poor condition.

Photo Number

42

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

The Coldstream building has both men's and women's showers rooms for the swimming pool

Photo Number
43



Description:

The Coldstream shower rooms were recently renovated with new wall finishes and floor finishes, as well as fixtures and toilet partitions.

Photo Number
44

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Rear elevation of the Summerfield swimming pool building

Photo Number
45



Description:

Front elevation of the Summerfield swimming pool building

Photo Number
46

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Summerfield pool building roof surface

Photo Number

47



Description:

Summerfield pool building lifeguard room interior.

The floor was recently surfaced with an epoxy coating

Photo Number

48

Location:
Lake Lingore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study

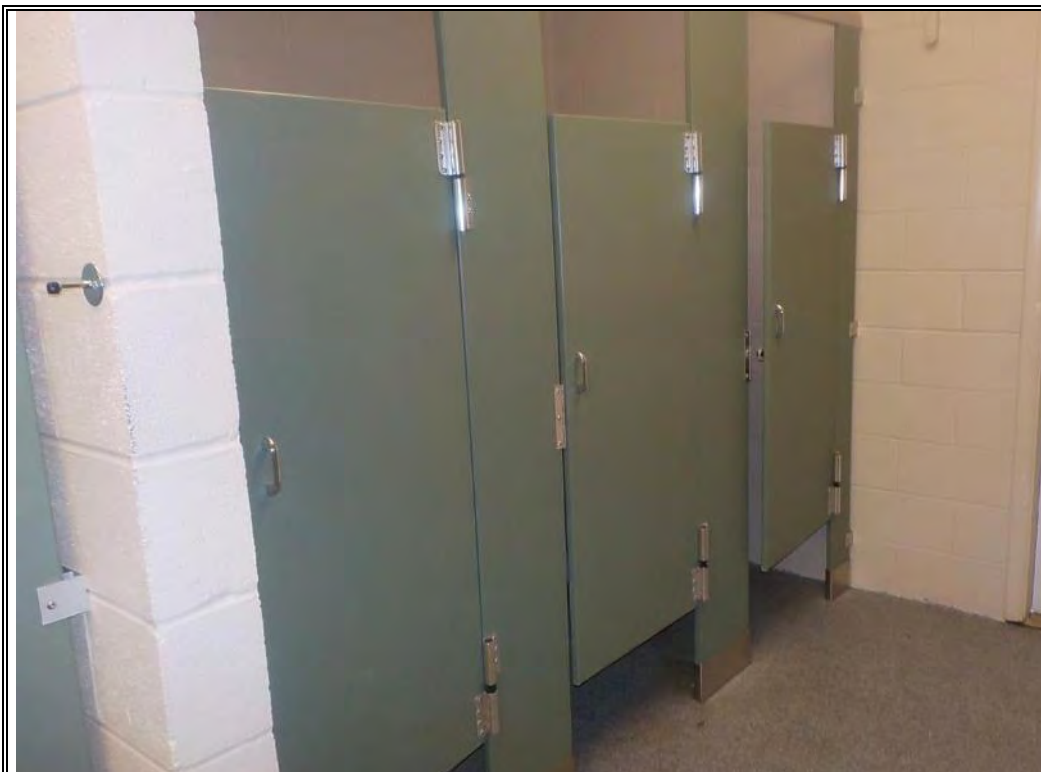


Description:

Summerfield
typical lavatories
and showers

Photo Number

49



Description:

Summerfield
typical toilet
partitions

Photo Number

50

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

West Winds
building rear
elevation

Photo Number

51



Description:

West Winds
building front
elevation

Photo Number

52

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Wood framed gazebo structure located beside the West Winds pool building

Photo Number

53



Description:

We observed wood rot at several locations on the West Winds building exterior

Photo Number

54

Location:
Lake Lingore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Typical West Winds building toilet room interior

Photo Number

55



Description:

Typical West Winds building showers

Photo Number

56

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

The Association maintains a partially restored barn for events and functions

Photo Number
57



Description:

The barn has a metal roof surface which is in fair to poor condition

Photo Number
58

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



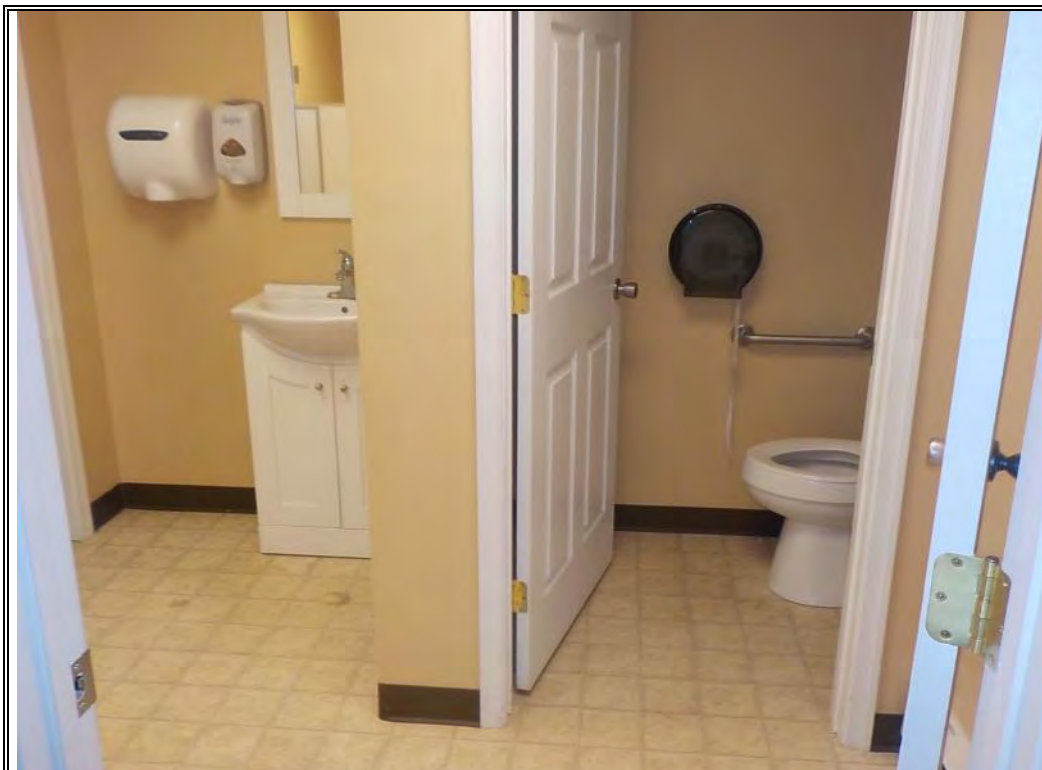
Description:

Interior view of the barn kitchen.

Kitchen equipment includes an ice maker, several refrigerators, warming trays and a commercial sink.

Photo Number

59



Description:

Barn toilet room interior

Photo Number

60

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Outdoor tent structure located next to the barn

A concrete slab floor is provided for the tent.

Photo Number

61



Description:

Interior view of the tent

Photo Number

62

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

One of two picnic pavilions maintained by the Association.

Photo Number

63



Description:

One of three school bus structures maintained by the Association

Photo Number

64

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study

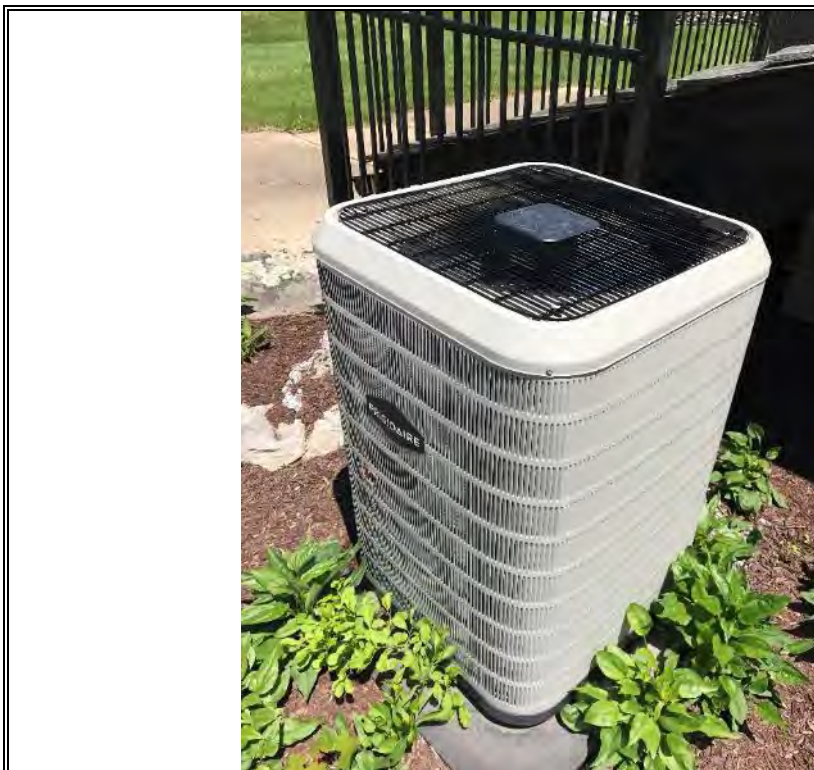


Description:

Propane, instantaneous water heaters serve the Coldstream shower rooms

Photo Number

65



Description:

The management offices at the Coldstream building are primarily served by a five-ton split system air condition unit

Photo Number

66

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Electrical circuit breaker panels in the Coldstream building are rusting and should be replaced soon.

Photo Number

67



Description:

Pole mounted security cameras at the Coldstream facility

Photo Number

68

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

The electric water heaters at Summerfield pool are 26 years old. (two @ 120 gallons)

Photo Number

69



Description:

The electric panel at the Summerfield pool building is rusting and should be replaced soon

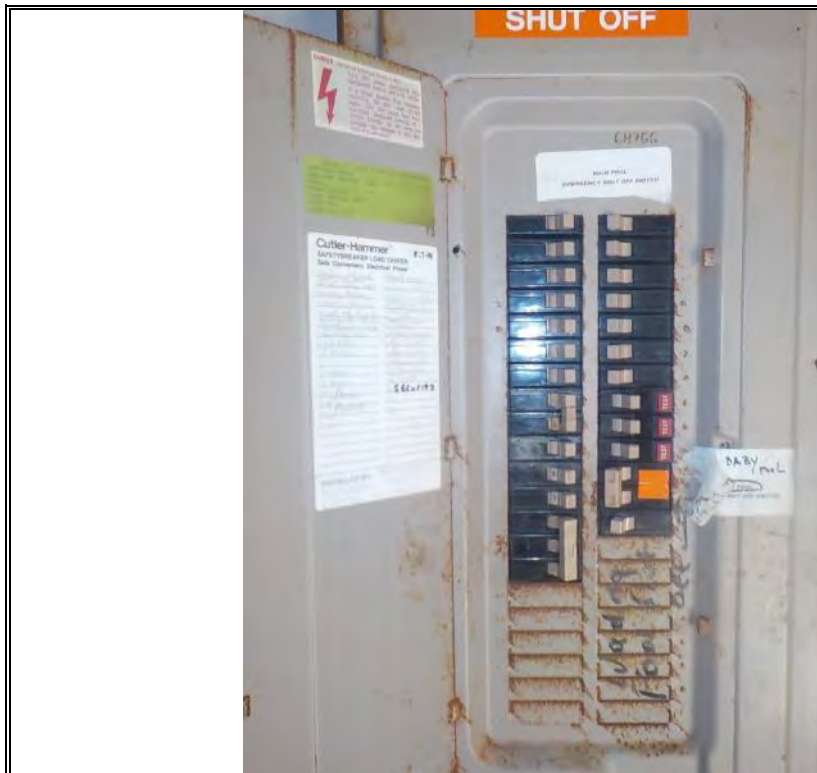
Photo Number

70

Location:
Lake Lingore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

The electric panel at the West Winds pool building is rusting and should be replaced soon

Photo Number

71



Description:

Video monitoring system at West Winds (typical of the swimming pool facilities)

Photo Number

72

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

The Coldstream swimming pool has a large wood pergola structure

The top pressure treated members are very weathered.

Photo Number

73



Description:

Coldstream wading pool

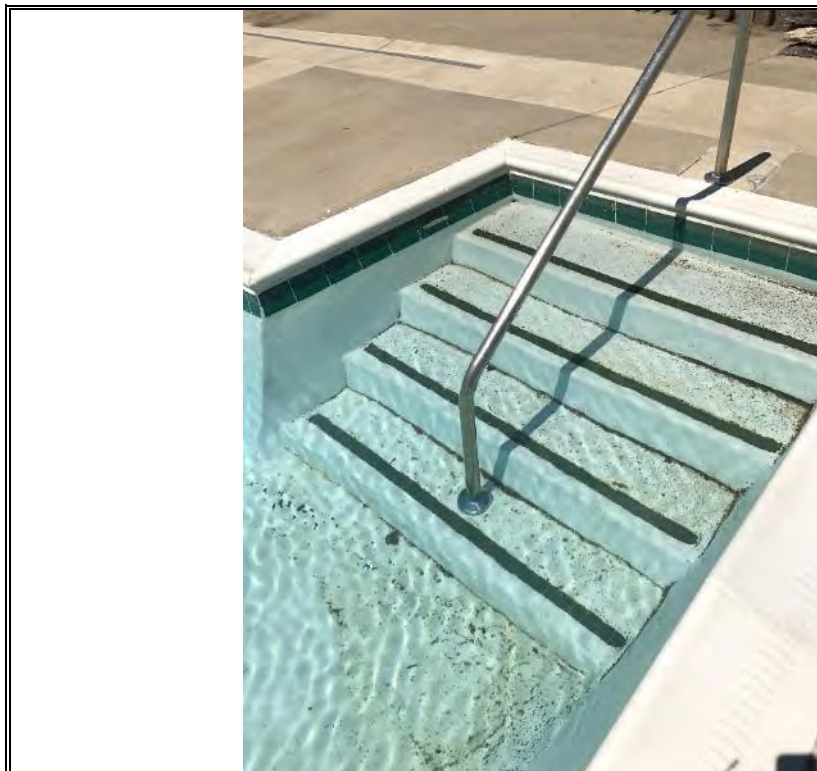
Photo Number

74

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study

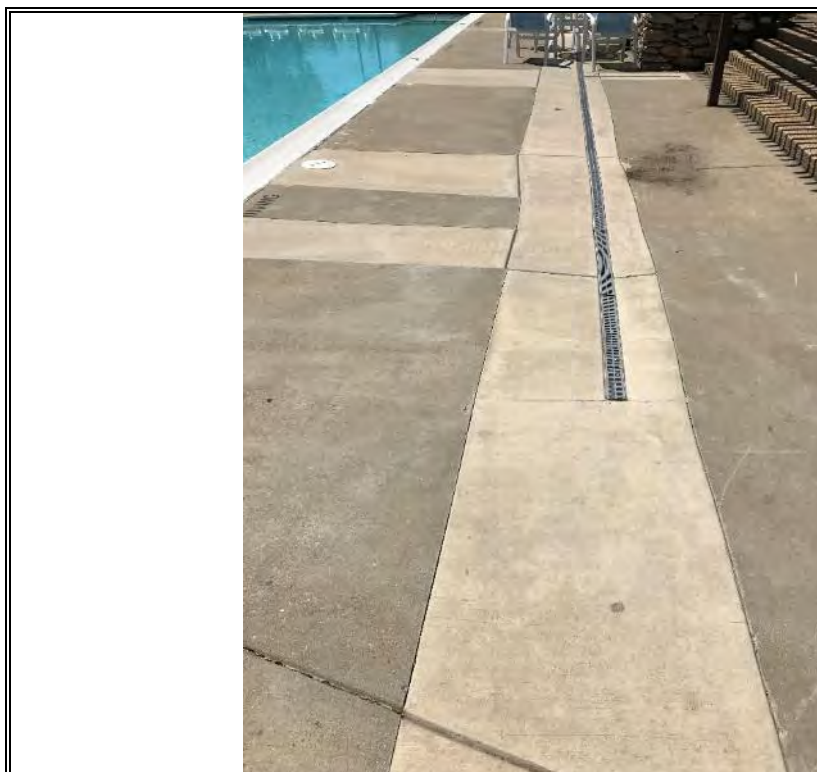


Description:

Coldstream pool
typical perimeter
ceramic tile and
coping

Photo Number

75



Description:

Coldstream pool
concrete deck with
some incremental
replacements

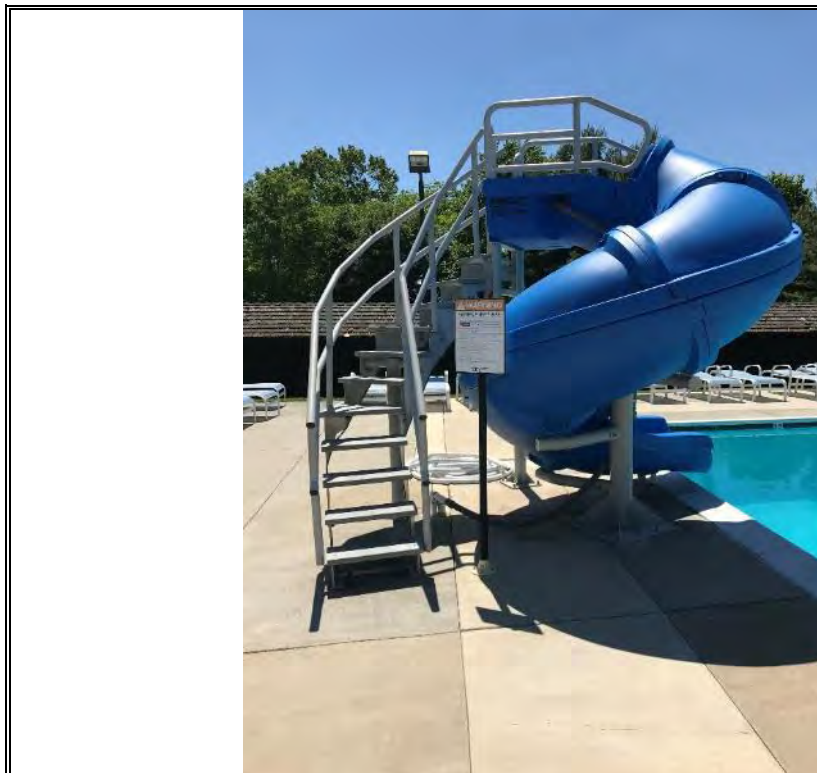
Photo Number

76

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Coldstream pool
spiral slide feature

Photo Number

77



Description:

The Coldstream
pool has metal
exterior pole
lighting and
several stacked
stone walls

Photo Number

78

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Coldstream pool circulation pumps located in the Caanas building

Photo Number
79



Description:

Coldstream pool sand filters

Photo Number
80

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Summerfield
swimming pool

Photo Number

81



Description:

Summerfield
wading pool

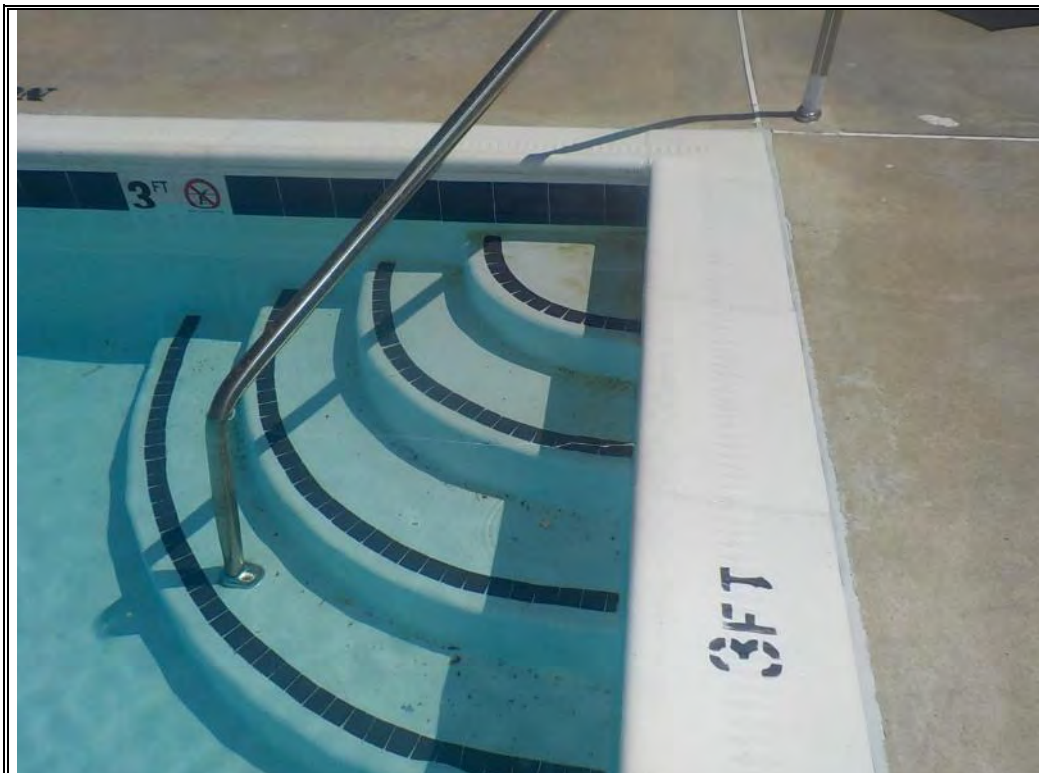
Photo Number

82

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Summerfield pool
typical perimeter
ceramic tile and
coping

Photo Number

83



Description:

Summerfield pool
concrete deck

Photo Number

84

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Summerfield pool
diving board

Photo Number

85



Description:

Large fixed
umbrella typical
of all pools

Photo Number

86

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:
Summerfield pool
circulation pump
and sand filters

Photo Number
87



Description:
Summerfield
wading pool
equipment

Photo Number
88

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

West Winds
swimming pool

Photo Number
89



Description:

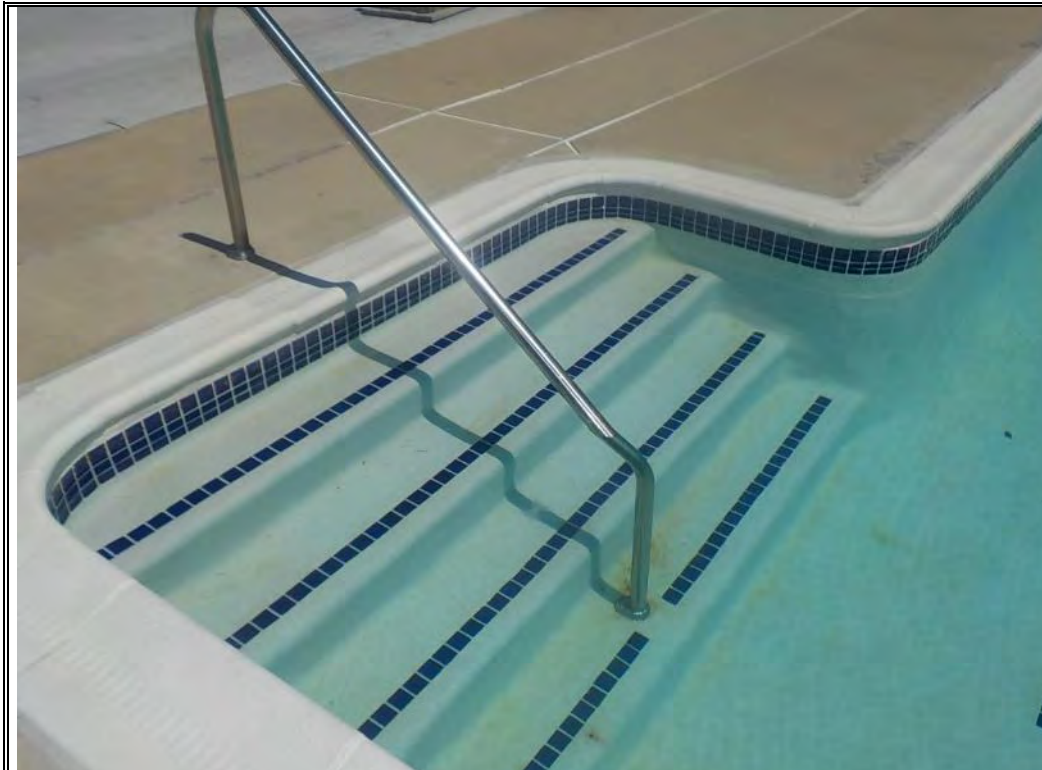
West Winds
wading pool

Photo Number
90

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

West Winds pool
typical perimeter
ceramic tile and
coping

Photo Number

91



Description:

West Winds pool
concrete deck

Underground
circulation piping
was recently
replaced

Photo Number

92

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

West Winds pool also has a wood deck.

The deck surface boards and railings are worn.

Photo Number
93



Description:

West Winds wood deck structure is generally in good condition, although some fasteners are rusting.

Photo Number
94

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

West Winds pool
sand filters

Photo Number
95



Description:

West Winds
wading pool
equipment

Photo Number
96

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Coldstream tennis courts

Photo Number
97



Description:

Summerfield tennis courts

Photo Number
98

Location:
Lake Linganore Assoc.
New Market, MD

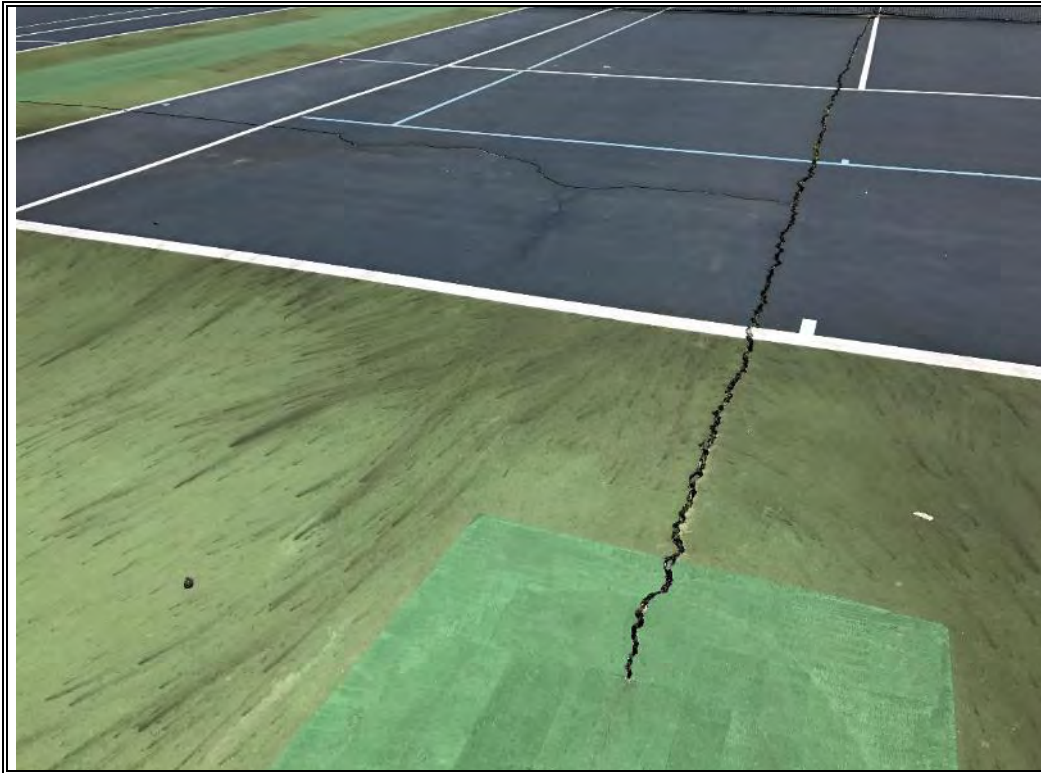
Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:
Coldstream tennis courts currently have several large longitudinal cracks

Photo Number
99



Description:
Apparent attempt to patch one of the existing cracks

Photo Number
100

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study

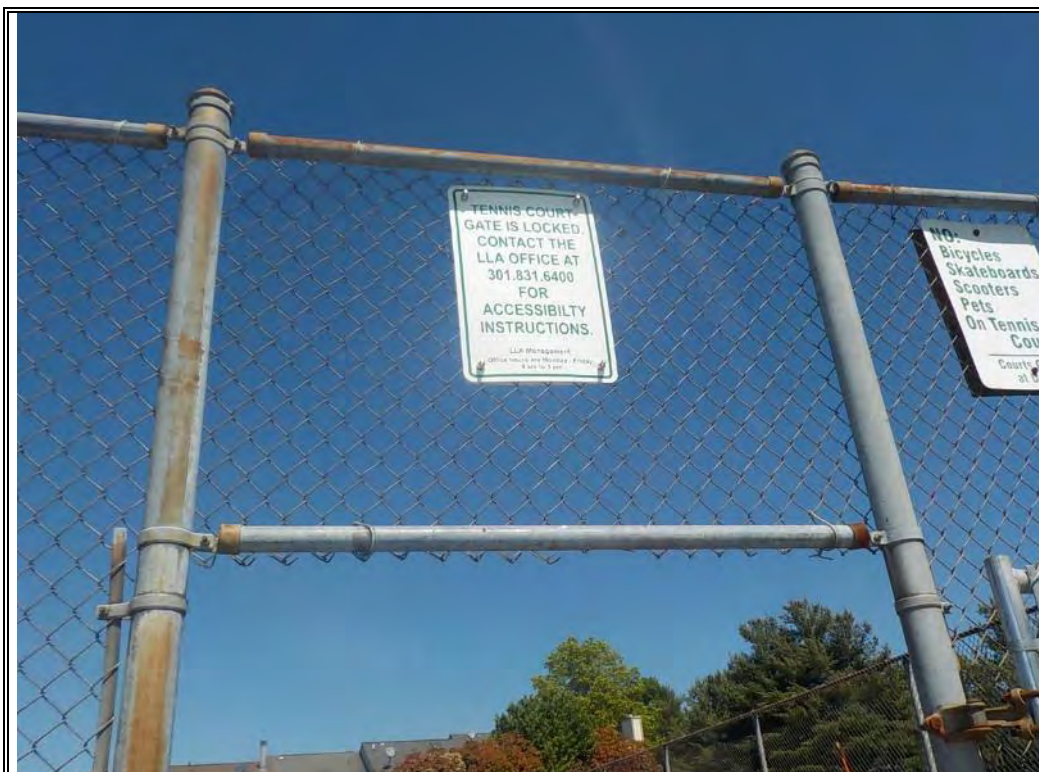


Description:

The color coat at the Summerfield tennis courts is worn and there is an apparent low spot in this area.

Photo Number

101



Description:

The Summerfield tennis court perimeter fencing is rusting in some areas.

Photo Number

102

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Summerfield
basketball court

Photo Number

103



Description:

West Winds
basketball court
with wood
retaining wall

Photo Number

104

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:
Coldstream
basketball court

Photo Number
105



Description:
Some wear and
cracking on the
asphalt surface

Photo Number
106

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:
Typical equipment
for a small tot lot
(High Beach Ct.)

Photo Number
107



Description:
One of the larger
tot lots
(McFadden)

Photo Number
108

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Woodland Preserve tot lot was recently completed

Photo Number

109



Description:

The perimeter fencing was recently replaced at the Twin Lake tot lot.

Photo Number

110

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Most of the equipment is relatively new and in good condition.

Photo Number
111



Description:

Some minor rust and deterioration at the older sites.

Photo Number
112

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Wood framed boat racks are provide at all three public beach areas

Photo Number

113



Description:

A large, fenced dog park was recently constructed

Photo Number

114

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Asphalt paved trail located on north-west side of Lake Linganore

Photo Number

115



Description:

Crushed stone trail on north side of Lake Linganore as viewed along beach on south side of Coldstream village

Photo Number

116

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Wood bridges
along trails as
viewed in West
Winds village

Photo Number

117



Description:

Wood deck on
south side of
esplanade bridge

Photo Number

118

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

No railings were noted on either side of the esplanade bridge

Photo Number

119



Description:

A section of esplanade concrete bridge that was demolished in the past

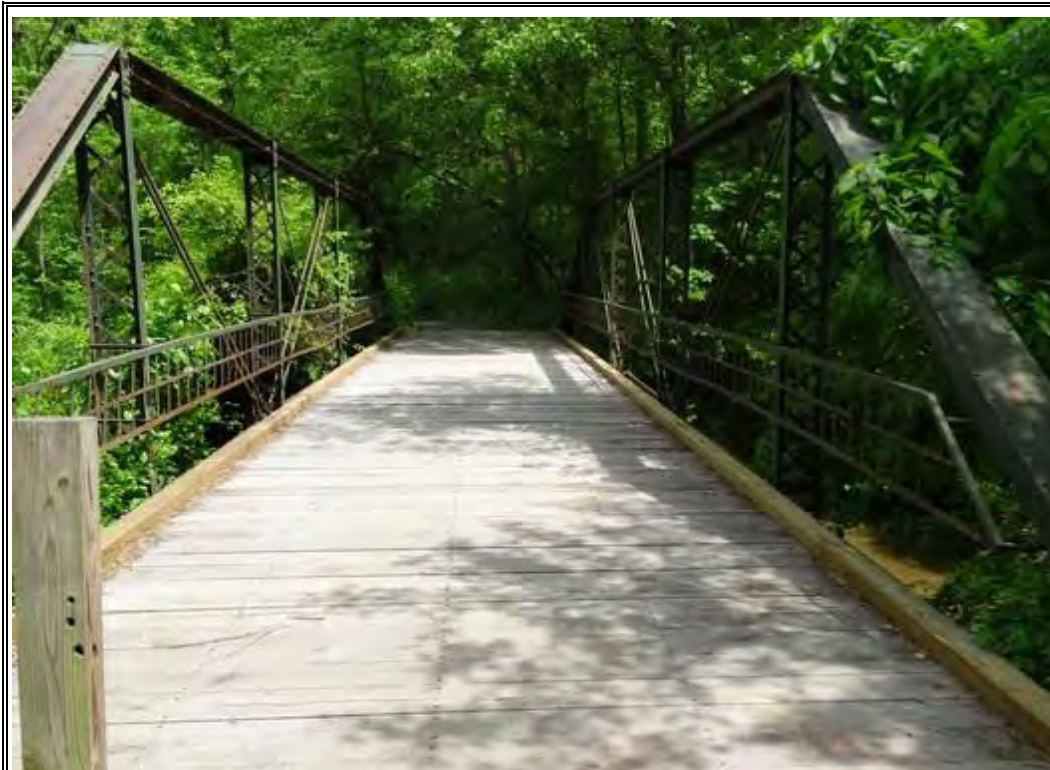
Photo Number

120

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study

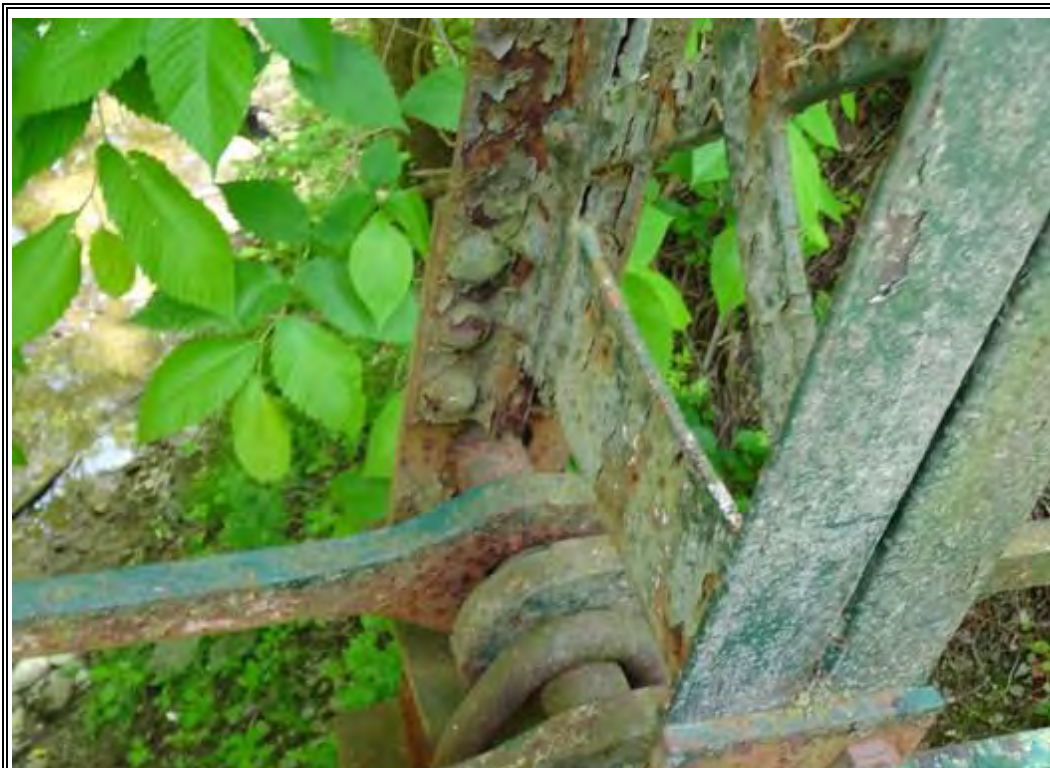


Description:

Overall view of Ben's Branch bridge

Photo Number

121



Description:

Peeled of steel structure paint and evidence of rust on the steel structure of Ben's Branch bridge

Photo Number

122

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study

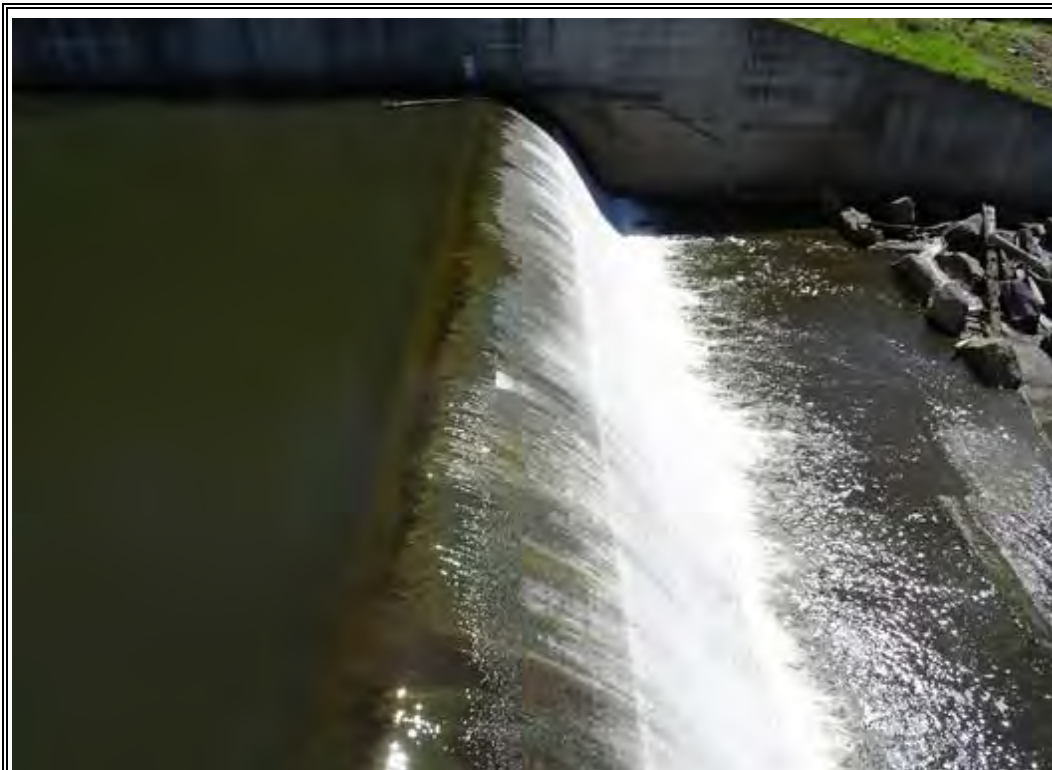


Description:

Dam embankment
and spillway on
west side of Lake
Linganore

Photo Number

123



Description:

Lake Linganore
spillway

Photo Number

124

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Cracks in the north
concrete wall of
Lake Linganore
spillway

Photo Number

125



Description:

Several cracks
were noted in the
south concrete wall
of Lake Linganore
spillway

Photo Number

126

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Stilling basin at
bottom of Lake
Linganore spillway

Photo Number

127



Description:

Eaglehead Drive
over the dam
embankment
located on the
south side of Lake
Merle

Photo Number

128

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Lake Anita Louise
outlet riser

Photo Number

129



Description:

Pond in Pinehurst
village

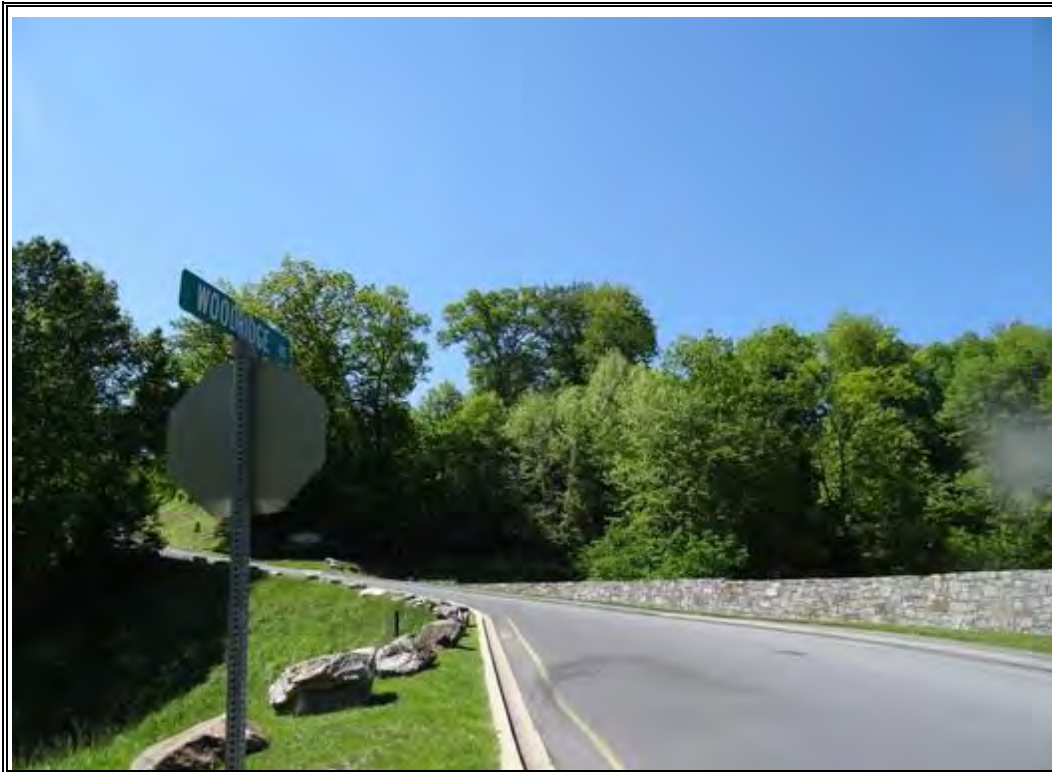
Photo Number

130

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

Woodridge Road
over the dam
embankment
located on the west
side of Lake
Marion

Photo Number

131



Description:

Outlet riser on
west side of Lake
Marion

Photo Number

132

Location:
Lake Linganore Assoc.
New Market, MD

Photo Taken by:
Craig Smith, P.E.
Anil Jagiasi, P.E.

Date:
May-July 2017
Reserve Study



Description:

The Association maintains several road vehicles for management personnel

Photo Number

133



Description:

The Association also has a multi-function tractor and other maintenance equipment

Photo Number

134

Appendix C: Professional Qualifications

PROFESSIONAL QUALIFICATIONS AND EXPERIENCE

ANIL R. JAGIASI, P.E.

Area of Expertise

Anil R. Jagiasi is currently the President of *Criterion - Jagiasi Engineers* based in Wilmington, Delaware. *Mr. Jagiasi* has a strong background in the complete structural design of industrial, commercial and residential building projects. *Mr. Jagiasi* has worked on several building design projects for architects, homeowners, property management companies, contractors, relocation companies, buyers, investors and warranty companies. *Mr. Jagiasi* is a Registered Professional Engineer (P.E.) in Delaware, Pennsylvania, New Jersey and Maryland.

Qualifications

Mr. Jagiasi has been a consulting engineer for more than 20 years. As a part of *Criterion-Jagiasi Engineers*, he has been involved in performing the structural design, structural inspections, constructability reviews, construction monitoring, forensic inspections, reserve studies, transition studies, property condition assessments, environmental site assessments and the capital need assessments for several commercial and residential building projects.

Prior to joining hands with *Criterion Engineers* in 2006, he has worked for several structural engineering consulting companies as a project manager for designing large size commercial and residential new or old building projects. These projects included office buildings, industrial buildings, hospitals, recreational facilities, schools, parking structures and residential apartment buildings. These projects consisted of various building materials such as steel, cast-in-place and precast concrete, masonry, wood, light gage etc. The job responsibilities were to develop construction documents/specifications in coordination with architects, engineers, owners and the contractors, perform design calculations and develop construction documents in compliance with the current building codes, check shop drawings of the building components, perform frequent field inspections to monitor the construction.

Mr. Jagiasi was as research engineer in the structural engineering department of two different universities and specialized in seismic (earthquake) structural design and analyses of the buildings.

Award, Lincoln Arc Welding Foundation Merit Award (1993) for Masters Thesis

Award, Who's Who in Graduate Schools (1992)

Publications, Two papers in ASCE Journal of Structural Engineering and four in conferences

Participated in several Community Association Institute (CAI) conferences

Education and Affiliations

Master of Science in Civil Engineering, *Illinois Institute of Technology*, 1992

Bachelor of Science in Civil Engineering, *University of Bombay*, 1988

Delaware PE # 14262

Pennsylvania PE # 072608

New Jersey PE # 24GE04627700

Maryland PE # 0033616

Member – Community Associations Institute (CAI) - Chesapeake Chapter

PROFESSIONAL QUALIFICATIONS AND EXPERIENCE

Craig D. Smith, P.E.

Area of Expertise

Mr. Smith is the Principal of Criterium-Harbor Engineers, located in Baltimore, Maryland. This consulting engineering firm provides building investigative and due diligence services for residential, commercial, institutional and industrial markets.

Mr. Smith is an Architectural Engineer with a broad background in all aspects of building systems and construction technology.

Primary services provided by Criterium-Harbor Engineers include; property condition assessments, energy audits, homeowner association reserve studies and construction quality assurance.

Qualifications

Before founding Criterium-Harbor Engineers, Mr. Smith gained over twenty years of experience in building design and facilities management, including; seven years as an HVAC design engineer, six years as a facilities engineer and eight years as owner of a consulting engineering firm specializing in building automation systems.

Mr. Smith has performed many building inspections and investigations, including; over 100 property condition assessments of commercial properties, over 100 reserve studies for community associations and over 500 structural inspections of residential properties. Mr. Smith has also provided quality assurance inspections for the construction of over 300 new homes.

Education and Affiliations

Bachelor of Architectural Engineering - The Pennsylvania State University – 1983

Professional Engineer - State of Maryland #16605 – 1988 / Virginia #046921 - 2010

Leadership in Energy and Environmental Design Accredited Professional – LEED-AP

Member – National Society of Professional Engineers

Member –American Society of Heating Refrigeration and Air Conditioning Engineers